

42842 ✓



Metropolitan District Office
183 Wharf Street
PO Box 70
Spring Hill Q 4004

Enquiries: Paul Grice
Telephone: (07) 3834 8249
Facsimile: (07) 3834 8363
Our Ref: 510/249
Your Ref: PG:ST0777.SAM
253/50/1-CA5013/97

29 January 1998

The Town Clerk
Brisbane City Council
GPO Box 1434
BRISBANE Q 4001

Dear Sir

**Brisbane City - Samford Sub-Arterial Road
Proposed Rezoning and Subdivision
(Lot 1278 on SL 10260)
1046 Samford Road, Keperra**

I refer to item number 1.05 from TAGM minutes of 31 December 1997 received on 28 January 1998 concerning the above rezoning and subdivision of land.

In accordance with the provisions of the Transport Infrastructure Act 1994, the Department of Main Roads approves of the proposal subject to the following:

1. An access restriction strip in favour of Brisbane City Council be provided along the entire Samford Road frontage of the site and the corner truncation of the site.
2. No access to the site to be provided via Samford Road frontage.
3. The applicant be advised to submit a detailed traffic study, by a qualified Traffic Consultant, which will assess the adverse impact on the State-controlled road network to a ten year horizon (in particular Samford Road and Settlement Road) and identify any works required to be undertaken by the Developer, as a direct result of the proposal and take into consideration development of land on the opposite side of Settlement Road with respect to access associated with a shopping centre as identified in Council's Local Area Outline Plan which will impact on the Samford Road/Settlement Road intersection. It should be noted that the Developer may need to address compensation to Main Roads as a result of adverse impact directly related to the proposal.
4. The applicant be required to investigate the need for and be responsible for all costs associated with the provision of noise ameliorative treatments (eg buffers, barriers/mounds) such that the L¹⁰ (18 hour) traffic noise level from Samford Road

M/C
Mm
30/1/98

measured 1 metre from the facade of all proposed residences does not exceed 63dB (A) (10 years' traffic and allowing for high set houses to be built).

Should such an investigation show there is no requirement for noise ameliorative treatments, the developer should be required to construct as a minimum requirement a two metre high continuous solid fence along the boundary between the subject property and Samford Road.

All fence construction shall conform to the requirements and minimum standards of Main Roads. Detailed design drawings along with the supporting report by a qualified Acoustical Engineering Consultant is to be submitted to Main Roads for approval prior to the commencement of construction.

5. Approval to be sought from Main Roads for any proposed discharge onto the Samford Road reserve for stormwater drainage of the site including provision for overland flow.

The Department of Main Roads reserves the right to reassess this advice should the proposal not proceed along the lines indicated and the above advice is valid for two years from the date of this letter.

Yours faithfully

Not Relevant

 (Bob Drew)

DISTRICT DIRECTOR (METROPOLITAN)

30/1/91
29/9/89
10/7/90

116 Ipswich Rd
Woolloongabba
Brisbane Q. 4102
Ph: (07) 891 646
Fax: (07) 891 598

BROGER
BRAMELD CONSULTING PTY LTD
Civil, Traffic and Development Engineers

Roger Brameld
B.E.(Hons.), M.Eng.Sc.,
B.Com., M.I.E. (Aust.)

The Manager
Ellenhaven Pty Ltd
G P O Box 3058
BRISBANE Q 4001

T102 RHB:DAB
4th December, 1990

*N.B. * Not part of this application*

Dear Sir,

Re: PROPOSED RETAIL DEVELOPMENT
SAMFORD & SETTLEMENT RD, KEPERRA

We have examined your proposed development in accordance with the drawings prepared by Guymer Bailey Architects Pty Ltd comprising:

- shopping centre to maximum gross floor area(GFA) = 9500 sq m
- shops (convenience goods) to maximum GFA = 500 sq m
- shops (retail hardware) to maximum GFA = 1800 sq m
- service industry to maximum GFA = 1400 sq m
- shop (retail warehouse) to maximum GFA = 4800 sq m
- fast foods stores to maximum GFA = 900 sq m
- Business premises (medical centre) child care veterinary surgery, produce store and garden centre = 22000 sq m
- **TOTAL MAXIMUM GROSS FLOOR AREA**

Traffic generation associated with the proposed development has been added to the forecast traffic on the road network. Existing intersections and access intersections have been analysed for both safety and capacity. As a result, the following works are recommended for the road network:

- provision of traffic signals at the Settlement Rd access linked with signals at the Samford Rd/Settlement Rd intersection
- dedication of a 3 metres road widening and widening of the carriageway to give four running lanes, each 3.5 metres wide, along the Settlement Rd frontage
- appropriate widening at the access intersections and appropriate modification to the Samford Rd/Settlement Rd intersection.

Provision of servicing and car parking in accordance with Section 18.05 of the Town Plan, as reflected in the Architect's proposal plan, is sufficient to overcome on-site congestion and obviate the need for parking on the external roads.

In addition to servicing areas, taxi ranks and bus set-down areas are incorporated in the plan to provide an additional service for shopping centre patrons.

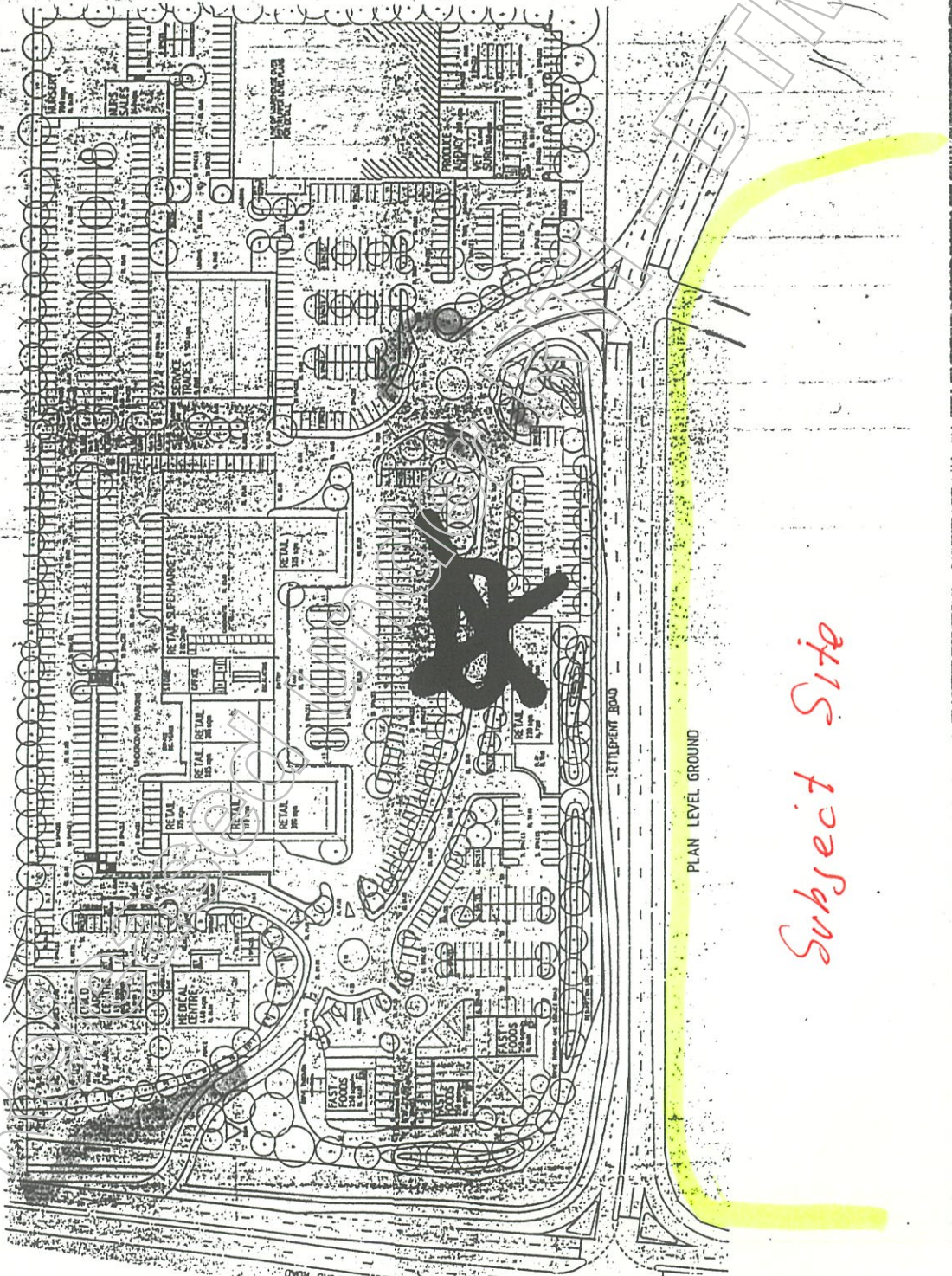
Provided the recommended works are undertaken on the road network, your proposed shopping centre and surrounding road network will have adequate capacity and will operate safely well into the 21st Century.

Yours faithfully,

N.B. * NOT PART OF THIS APPLICATION

Page 2.

to be drawn to scale to be indicated showing the boundaries of the land to which the application relates or applies referring to the street or streets which the land or any part thereof abuts, the size and location of all buildings or other structures to be erected on the land and the distance in metres from the nearest point of every such building or other structure to a boundary of the land. Where the land constitutes part of an allotment or part of more than one allotment or more than one allotment, the boundaries of the allotment or those allotments shall also be shown in the manner of the boundaries of the land in a colour other than that in which the boundaries of the land are shown.



Subject Site

MRD X

Delete whichever inapplicable)

Buildings other structures and works presently erected done in black.
Proposed buildings other structures and works in red.

PJT
340 36307
340 35654

253/50/1-CA5013/97



Brisbane City Council
GPO Box 1434
BRISBANE QLD 4000

28 January 1998

Mr Paul Grice
Department of Main Roads

Dear Paul,

Proposed rezoning & subdivision 1046 Samford Road, Keperra

Please find attached a proposal for the Keperra Drive-in site.

Could you comment on the access arrangements to Settlement Road on the basis of previous and likely future proposals to develop across the road. Previously it was envisaged that a linked signalised intersection arrangement would be put in place to cater for the drive-in ingress and a shopping centre proposed across Settlement Road. The intersection was to be some 300 metres away from the intersection with Samford Rd at the drive-in entry.

The current proposal seeks to have the estate entry/exit at a point 160 metres from the intersection. Can this arrangement maintain the linked signalised proposal previously envisaged?

Yours faithfully,

Not Relevant

Paul Toohey
Development and Regulatory Services

MINUTE OF THE DAILY TEAM MEETING HELD ON WEDNESDAY 24 DECEMBER 1997

5013Z97.21A

Item number: 1.05

<p>SITE:</p> <p>Address of Site: 1046 Samford Road, Keperra Real Property Description: Lot 1278 on SL 10260 Parish of Enoggera Area of Site: 60,771 m² Existing Zone: Particular Development 10 (Drive-In Theatre) Name of Owner: Birch Carroll & Coyle Ltd Name of Ward: Enoggera Ward</p>	<p>APPLICATION:</p> <p>Type of Application: Combined Application Description of Proposal: Rezoning and Subdivision 84 lots (Stage 3) Purpose of proposal under Town Plan: Detached houses Proposed Zone: Residential "A" Applicant: Ausbuild Pty Ltd (C/- Jones Flint & Pike Pty Ltd) Council file reference: 253/50/1-ca5013/97 Lodgement Date: 22 December 1997</p>
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Debbie Priest (council)

The Development Assessment Team reviewed the above application.

After considering the proposal, the Development Assessment Team made the following recommendation.

RECOMMENDATION OF DEVELOPMENT ASSESSMENT TEAM

Category of Application:

3

Assessment Manager:

Paul Toohey; Planning Officer, Development Assessment Team
West (p03nw) ph 340-35422; fax 340-35384

Assessment Team (including
Technical Support Group Members):

Engineering Not Relevant (19/01/98)
Roadworks and Drainage
Water and Sewerage
Traffic and Transport
Pollution Not Relevant (19/01/98)
Open Space Planning - Not Relevant (19/01/98)

Not Relevant

Referral Agencies:

Seek additional Councillor comment: Yes

Level of public consultation required: Advertised

Waterway/wetland per Bimap Env.
Status:

Slope > 10%:

Identified Issues:

Overall layout
Access point onto Samford Road
Noise mitigation measure/report
Park contribution/layout/location
Drainage/lawful point of discharge
History

Standard Advices:

Ownership

Standard Conditions:

Delegate:

SPAW

Apologies:

Nil

MINUTE OF THE PLANNING REFERRAL AGENCIES MEETING

30 December 1997

page 2

5013297.21A

253/50/1-ca5013/97

Date sent from Team	/ /	Date received by Referral Agency	/ /
Date sent from Referral Agency	/ /	Date received by Team	/ /

Released under RTI - DTMR

**MINUTE OF THE TECHNICAL ADVISORY GROUP MEETING
HELD ON WEDNESDAY 31 DECEMBER 1997**

5013Z97.21A

Item number: 1.05

SITE: Address of Site: 1046 Samford Road, Keperra Real Property Description: Lot 1278 on SL 10260 Parish of Enoggera Area of Site: 60,771 m ² Existing Zone: Particular Development 10 (Drive-In Theatre) Name of Owner: Birch Carroll & Coyle Ltd Name of Ward: Enoggera Ward	APPLICATION: Type of Application: Combined Application Description of Proposal: Rezoning and Subdivision 84 lots (Stage 3) Purpose of proposal under Town Plan: Detached houses Proposed Zone: Residential "A" Applicant: Ausbuild Pty Ltd (C/- Jones Flint & Pike Pty Ltd) Council file reference: 253/50/1-ca5013/97 Lodgement Date: 22 December 1997
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Debbie Pileat (cmttee1)

The Technical Advisory Group reviewed the above application.

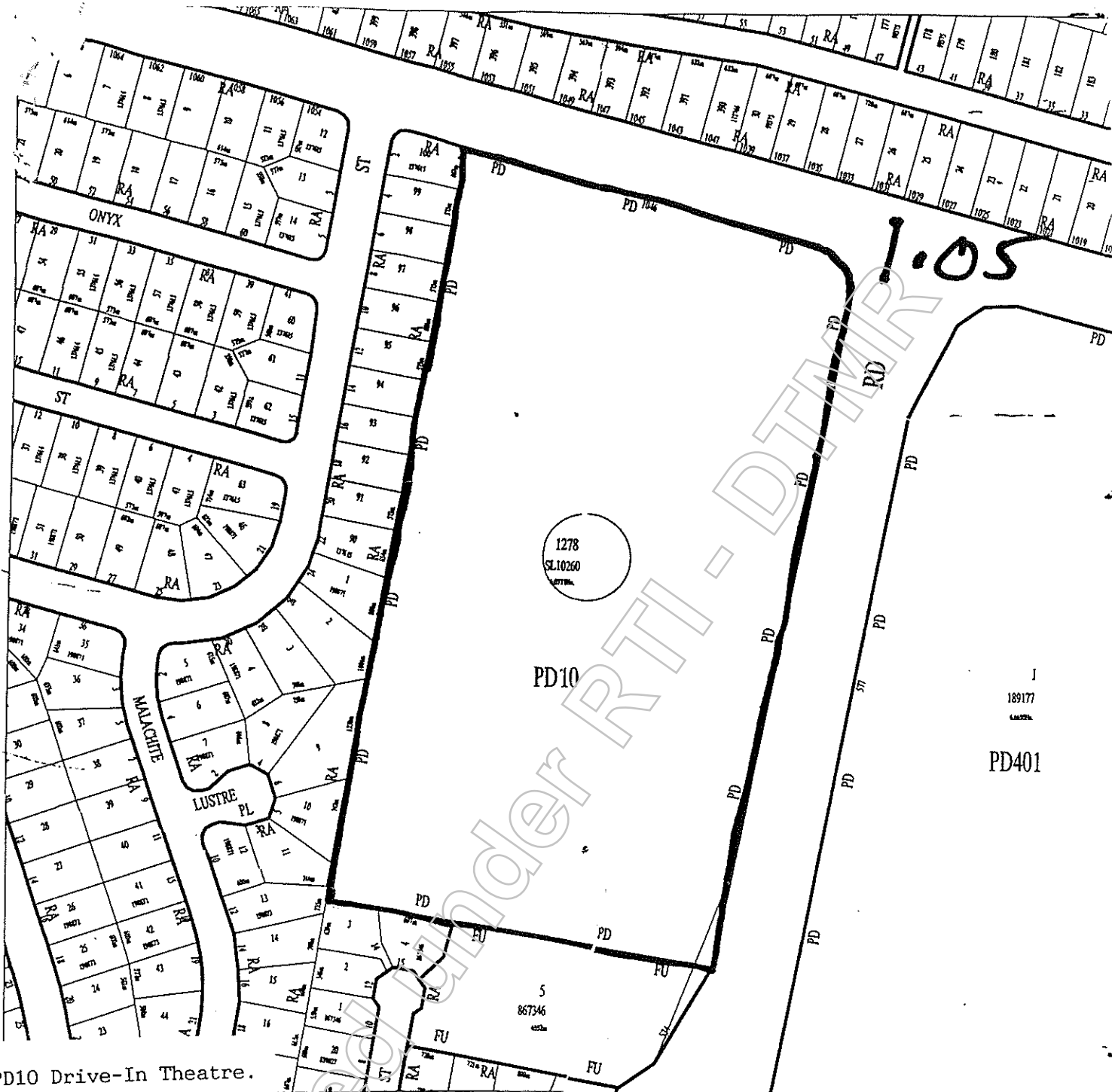
After considering the proposal and the recommendations of the Development Assessment Team, the Technical Advisory Group made the following decision.

DECISION OF TECHNICAL ADVISORY GROUP

The Technical Advisory Group Meeting endorsed the recommendations made in the Daily Team Meeting of the Development Assessment Team West and identified the following additional issues to be addressed by the Assessment Team:

Additional Identified Issues:

Liaise with NR regarding access and possible contribution to traffic signals
Noise and dust from quarry operations
Refer to Department of Main Roads



PD10 Drive-In Theatre.

Application Type:	<input checked="" type="checkbox"/> Rezoning/Amendment	<input type="checkbox"/> Relaxation/Variation/Waiver	<input type="checkbox"/> Consent (24.2)	<input type="checkbox"/> Notif of Cond (24.3)
	<input type="checkbox"/> Certificate (24.4)	<input checked="" type="checkbox"/> Subdivision	<input type="checkbox"/> CIP	<input type="checkbox"/> Combined (Identify Components)
	<input type="checkbox"/> Other	Ward: ENOGGERA.		
Describe Proposal: REZONE PD → R.A. & STAG 3 SUBDIVISION 84 LOTS.				Purpose: /
Site Address: 1016 SAMFORD RD, KEPERRA.				
RPD: LOT 1278 SL, 10260.			Parish: ENOGGERA.	
Applicant's Name: AUS BUILD P/L c/- JONES FLINT & PIKE P/L				
Postal Address: P.O. BOX 3634, SOUTH BRISBANE			Post Code: 4101.	
Owner's Name: BIRCH CARROLL & COYLE LTD.				
File No.: 253/50/1-CAS013/97.	Date: 22/12/97	Team: West.	Site Area: 6.0771ha	
Existing Zone: PD10				



Application for information concerning Transport Department land requirements for road purposes

Metropolitan Division

A 824960

Applicant's name and postal address:

Attn: Not Relevant
JONES, FLINT & PIKE PL
P.O. BOX 3634
SOUTH BRISBANE Q 4101

Applicants to note:

- 1 The information below is necessary to identify the location of land and enable your enquiry to be processed. Incomplete information may require the return of the form for completion, with consequent delays.
- 2 This application should be submitted to the relevant District Engineer. Lists showing Local Authorities and corresponding Transport Department Districts are available on request.
- 3 Replies endorsed on this form refer to current road requirements from the subject property(s). Plans showing the future major road network systems are available for viewing at the respective District Offices. If any further discussion is required please contact the District Office to make an appointment.

Location Sketch: (Street names essential)

Attach real property plan where available.

Applicant's Reference Number: Z5555

Purpose for which information is required:
SUBDIVISIONAL DESIGN

Signed: Not Relevant Date: 16/9/97

Property Details:

Local Authority: B.C.C. Town: BRISBANE

Number and Street: 1046 SAMFORD RD, Suburb: KEPERRA

Lot: 1278 A.P.: SL.10260 Area: 6.077 ha

Original Portion Number (must be supplied): 1278

Sub/Resub (if applicable): _____

County: STANLEY Parish: ENOGGERA

Nature of Property (House, industrial, vacant etc.):
DRIVE-IN

Owner's name: BIRCH CARROLL & COYLE LTD.

Owner's address: ADELAIDE ST

(C) 1

Purchaser's name: N/A

Purchaser's address: _____

See attached plan

19 SEP 1997

Official Reply:

phoned Main Roads has no known requirements from the subject land

Not Relevant

MND

Not Relevant

phone 3834 8344

NO Requirements confirmed

Subdivision Application

TYPE 2/3/4

14

Please indicate whichever application type is applicable:

- Subdivide land into allotments
- Subdivide land in stages
- Subdivide land by lease
- Subdivide land incorporating a lake
- Subdivide by Group Title (approval of certificate)
- Open road
- Amalgamation
- Subdivide by Building Units Title
- Other (please specify)

If you are lodging one of the following applications, please indicate the applicable application ABOVE and BELOW the line:

- Consideration in Principle
- Minor Modification
- Minor Planning Approval
- Combined (where any component is a subdivision)
- Other (please specify)

Site details

Street address

1046 SAMFORD ROAD, KEPERRA

Real property description & site area. Refer to rate notice, if more than 4 lots, please attach details on a separate sheet

Lot	1278	RP	SL 10260	Area	6.077 ha
Lot		RP		Area	
Lot		RP		Area	
Lot		RP		Area	
Parish				Total Area	
ENOGERRA				6.077 ha	

Applicant's details

Name/Company name in full

AUSBUILD PTY LTD *ACN 010 138 860*

If a company, name of contact person

C/- JONES FLINT & PIKE PTY LTD

Postal address

PO BOX 3634, SOUTH BRISBANE QLD 4101

Phone no.

3844 7161

Fax no.

3846 1959

Signature/s

Not Relevant

Owner's consent

I/We

BIRCH CARROLL & COYLE LIMITED

Address

Basis of ownership

Signature/s, Company seal or ACN

Complete the following details where applicable

Description of proposal

COMBINED REZONING TO RESIDENTIAL A AND 3 STAGE SUBDIVISION INTO 84 LOTS, STAGE 1 BEING 42 LOTS

Proposed no. of allotments/lots

42 IN STAGE 1

Current Zone

PARTICULAR DEVELOPMENT DRIVE IN THEATRE

13

LETTER FROM BRISBANE

JONES FLINT & PIKE

consulting planners, surveyors and cartographers

date 19 December, 1997
reference B2036

Offices

BRISBANE
Cnr Ernest and Menvale Streets, South Brisbane
phone (07) 3844 7161 fax (07) 3846 1959
P O Box 3634 South Brisbane, Queensland 4101
e-mail bris@jfp.com.au

The Town Clerk
Brisbane City Council
GPO Box 1434
BRISBANE QLD 4001

GOLD COAST
17a Margaret Street, Southport, Queensland 4215
phone (07) 5591 6311 fax (07) 5591 6312
e-mail sthport@jfp.com.au

attention
re **Combined Application to Rezone and
Subdivide Lot 1278 SL 10260
1046 Samford Road, Keperra**

SUNSHINE COAST Maroochydore
27 Cotton Tree Parade, Maroochydore
phone (07) 5443 2500 fax (07) 5443 4759
P O Box 5 Maroochydore, Queensland 4558
e-mail maroochy@jfp.com.au

SUNSHINE COAST Tewantin
Suite 11 Coccoloba Centre, Poinciana Avenue, Tewantin
phone (07) 5449 8244 fax (07) 5449 8541
P O Box 203 Tewantin, Queensland 4565
e-mail tewantin@jfp.com.au

GLADSTONE
59 Gooddon Street, phone (079) 722 100 fax (079) 725 444
P O Box 172 Gladstone, Queensland 4680
e-mail glg.ad@jfp.com.au

Dear Sir,

On behalf of our client, Ausbuild Pty Ltd, we seek Council's approval to a combined application for rezoning the above described land to Residential A and its future subdivision into 84 lots with specific approval with conditions for Stage 1 comprising 42 lots. The proposal is described on proposal plan B2036-02.

EXECUTIVE SUMMARY

The land is described as Lot 1278 on SL 10260, Parish Enoggera. Its area is 6.077 hectares. The site is the Keperra Drive In site, on the corner of Samford Road and Settlement Road, Keperra. The applicant is Ausbuild Pty Ltd c/- our firm, contact person in our firm is NR and our file reference number is B2036.

The proposal is to exclude the land from Particular Development - Drive In Theatre zone to include it in Residential A. It is then proposed to subdivide the land, in three stages, into 84 new lots and seek Council's specific approval for Stage 1 comprising 42 lots.

SITE HISTORY

The subject property has been known as the Keperra Drive In for over 30 years. Council's records may show an application to use the land in the first Town Planning Scheme for a drive in theatre. Other than that there are no known applications for rezoning or land use on site.

There have been pre-lodgement enquiries regarding the proposed use for the site.

SITE CHARACTERISTICS

Topographically, the subject land is spoon shaped or dish shaped. The land currently falls both from the south and north to the low point towards the northern end of the site. Land at the furthest point south and north will have some elevation and views however most of the land will not have views other than to within the internal street system. The site has extensive road frontage being 162 metres to Samford Road and 261 metres to Settlement Road. The future allotments however will not access directly to either of those roads, rather to the internal roads and culminating in a single intersection with Settlement Road.

There are existing stands of mature eucalypts along the Samford Road frontage as well as in parts along the Settlement Road frontage as well on the southern boundary. Much of that mature vegetation along Samford Road will be retained especially those areas coinciding with the proposed future park. Where possible individual trees around the perimeter of the site will be retained. The proposal will not result in any detrimental environmental impact.

The land is surrounded on the south west and opposite in Samford Road to the north by detached dwelling houses. The site is within a residential neighbourhood and the future subdivision will consolidate that residential node. There is a current Council approval for a shopping centre on the opposite corner of Samford Road and Settlement Road however it is not known if this shopping centre will proceed. The shopping centre is a use which is ancillary to the urban designation.

LOCAL GOVERNMENT (PLANNING AND ENVIRONMENT) ACT

The proposal complies with the criteria for rezoning in the Planning and Environment Act. The access is to be via one intersection to Settlement Road only. No direct lot access is proposed to Settlement Road or Samford Road. The proposal will not create a traffic hazard. The land is situated in an area which is surrounded by Residential A development. There is some new residential development to the south of the site. The proposal will satisfy a demand for residential dwellings in the area.

The balance of zones in the local area and the planning scheme area as a whole will not be affected by the proposal. The subject land can be connected to all urban services and is close to public transportation. Open space has been provided on the northern portion of the site in which a number of valuable stands of trees will be retained.

TOWN PLAN AND LOCAL PLANNING POLICIES

The proposal is in accordance with the intent of the Strategic Plan. The subject land is included in an area designated Urban Area in Council's current Strategic Plan. The proposal complies with the intent of that Urban Area designation. The proposal complies with the intent of the Strategic Plan and specifically Sections 3.2.1.5, 3.2.2.1, 3.2.3.1, 3.2.3.5, 3.2.4.2, 3.2.4.5, and 3.3.2.1, in that the proposal will provide for a range of dwellings in a location which is able to be fully serviced and efficiently utilises a limited land resource.

Town Plan

The proposal complies with the intent of Residential A in the Town Planning Scheme in that it provides for detached dwelling houses. The proposal is generally in accordance with the provisions of Section 20 of the Town Planning Scheme. In Stage 1 all lots have areas greater than 450 square metres and frontages greater than 15 metres except for proposed lots 6, 10, 11, 22, 23 and 27 which are found at the end of the culs-de-sac. Council's relaxation of the minimum frontage, in accordance with Section 20.2.1.5(c)(ii), is requested. All roads are fourteen metres wide with 5.5 pavement and parking spaces have been provided at the head of the cul-de-sac at the ratio of one space per two lots. All urban services are available to the subject land and the future subdivision will be provided with underground electricity.

The proposed Stages 2 and 3 contain allotments less than the minimum 450 square metres with frontages less than the 15 metres. Relaxation will be sought in the future under Section 20.2.1.5(c)(iv) of the Town Planning Scheme for those lots. House designs will be available at that stage to support the relaxation.

The subject land is not included in any development control plan nor is it included in a Local Area Plan or Local Area Outline Plan. The proposal is in accordance with Council's Local Planning Policies, Development Standards and General Requirements.

ISSUES RELEVANT TO THE APPLICATION

Services

The subject land is currently serviced by water reticulation, sewerage reticulation, stormwater reticulation, electricity and telecommunications services. The sewerage discharge point will be via the existing reticulation system which passes through Lot 97 RP 137615 on the western boundary. Similarly stormwater will be discharged through the existing easement in Lot 96 RP 137615. There is sufficient capacity in both sewerage and stormwater lines to accept the discharge from the proposed rezoning and subdivision. Water reticulation is available in Settlement Road as are electricity and telecommunications services. There are no road widenings applicable to the subject site either from Council on Settlement Road or Main Roads on Samford Road. Copies of the road enquiry searches are attached.

COMMUNITY CONSULTATION

This application is to be lodged and advertised in accordance with the provisions of the Local Government (Planning and Environment) Act. The proposal is not a designated development nor does it abut a designated area and therefore advertising the rezoning will be for the statutory 20 working day period.

CONCLUSIONS

The proposal to rezone the subject land to Residential A is straightforward and is in accordance with the provisions and intent of Council's Strategic Plan. The land is suitable for residential development and that development is compatible with existing residential development surrounding the site. The proposal to subdivide Stage 1 of the land following rezoning is similarly compatible with surrounding land uses. Lots in Stage 1 range in area from 465 square metres to 800 square metres. The majority of lots are in excess of 600 square metres.

Attached is our client's cheque in the amount of \$15085.00 representing the combined application for the rezoning, staged subdivision and application for Stage 1 subdivision. Attached for your reference are eight copies of drawing B2036-02 being the proposal plan for rezoning and subdivision, eight copies of this assessment report and two copies each of road clearances from Brisbane City Council and Main Roads.

Please provide your Council's approval to this application at your earliest convenience. Should you require any further information please do not hesitate to contact me on 3844 7161.

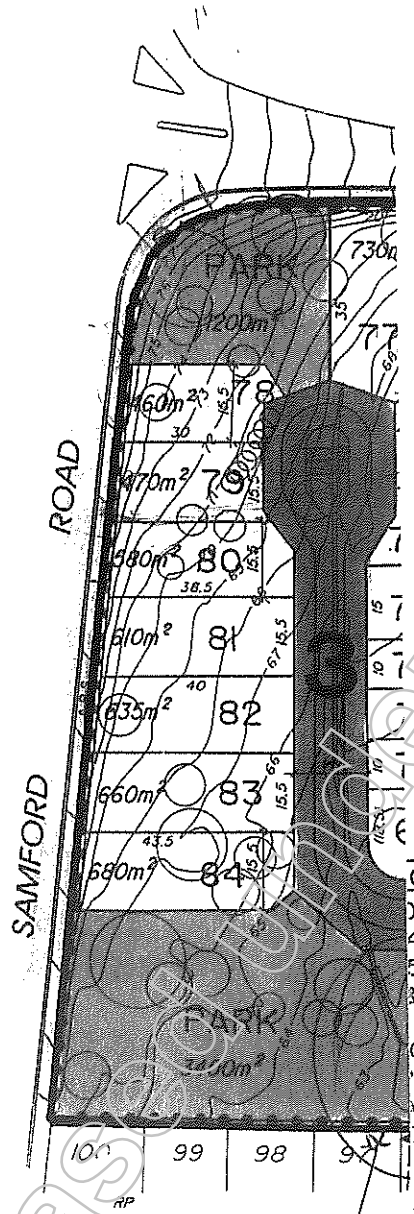
Yours faithfully
JONES FLINT & PIKE PTY LTD



revision			
no	description	date	init.
	Original Issue base plan	17.12.97	R.K.

- NOTES**
- (1) This plan was prepared for the purpose and exclusive use of AUSBUILD PTY. LTD. to accompany an application to BRISBANE CITY COUNCIL for approval to rezone & subdivide the land described in the plan and is not to be used for any other purpose or by any other person or corporation. JONES FLINT & PIKE PTY. LTD. accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention to the terms of this clause or clauses 2,3 or 4 hereof.
 - (2) The contours on this plan are from field survey and are suitable only for the purpose of this application. The accuracy of the contours has not been verified and no reliance should be placed upon each contour for any purpose other than for the purpose of this application for rezoning & subdivision.
 - (3) The dimensions, areas, size and location of improvements, flood information (if shown) and number of lots shown on this plan are approximate only and are subject to survey.
 - (4) This plan may not be photocopied unless this note is included.

PROPERTY DESCRIPTION
 LOT 1278 ON SL10260
 PARISH OF ENOGGERA
 COUNTY OF STANLEY
 TOTAL AREA 6.077ha.



CS	STAGE 1	STAGE 2	STAGE 3	TOTAL
OTS	---	14	5	19
449m ²	27	7	5	39
559m ²	15	5	6	26
3 over	42	26	16	84
OF NEW	45m	---	---	45m
FRIDOR	205m	175m	135m	515m
AD	150m	---	---	150m
OAD	---	---	4600m ²	4600m ²
FARK	---	---	---	---
REA	3.07ha	1.487ha	1.52ha	6.077ha

5 10 5 0 5

sewer line

JONES FLINT & PIKE planners, surveyors
 JONES FLINT & PIKE PTY LTD A.C.N. 050 414 045

GLADSTONE
 59 Goondoon Street,
 Gladstone, Queensland, 4680
 telephone (079) 72 2100

BRISBANE
 Cnr Ernest and Merivale Streets,
 South Brisbane, Queensland, 4101
 telephone (07) 3844 7161

GOLD COAST
 17A Margaret Street,
 Southport, Queensland, 4215
 telephone (071) 5591 6311

ENOGGERA
 SUBDIVISION

sheet of sheets
 drawing number
B2036-02
 date 17-12-97

BASELINE

BASELINE CONSULTING PTY LTD

Development Consultants and Engineers
A.C.N. 067 243 314

42412 ✓

846

P7081.28.01

28th January, 1998

The District Engineer (Metropolitan),
Main Roads Department
PO Box 330
SPRING HILL Q 4004

Attention: Mr Paul Grice

Dear Sir,

**Re PROPOSED SHOPPING CENTRE-SAMFORD/SETTLEMENT ROADS,
KEPERRA**

Further to our recent telephone discussion, please find enclosed a layout plan of the proposed shopping centre at Samford/Settlement Roads, Keperra.

Relevant conditions extracted from the rezoning approval are also enclosed for your information.

Please confirm Main Roads agreement in principal with the attached layout. A copy of Main Roads letter 140/U95/126.4 dated 30 January, 1991 is also attached. We understand that the intersection mentioned in this letter has since been upgraded to the required standard.

Yours faithfully,
Baseline Consulting Pty Ltd,

Not Relevant

Director

CC TVS Partnership - Not Relevant

Enc: TVS Plan 3707 Sheet 01-A 23 Dec 97

510/249

METROPOLITAN DISTRICT		
NEW FILE No. / .. / ..		
OLD FILE No. / .. / ..		
29 JAN 1998		
OFFICER	COPY	FILE
NR		
		NR
		NR

NR

NR

NR

NR

Need to discuss?

368 Montague Road, West End Q 4101
Postal Address: PO Box 3635 South Brisbane Q 4101
Facsimile (07) 3844 7588 Telephone (07) 3844 5900
Registered Professional Engineering Unit of Queensland

A/c

THIS DEED is made the

day of 11/11/11

One thousand nine hundred and ~~ninety two~~ BETWEEN ELLENHAVEN PTY LTD (A.C.N. 010 408 312) a duly incorporated company having its registered office in the State of Queensland at Level 13, 410 Queen Street, Brisbane in the said State (hereinafter with its successors and permitted assigns called "the Applicant") of the one part AND BRISBANE CITY COUNCIL a body corporate created by and under the City of Brisbane Act 1924 as amended (hereinafter with its successors called "the Council") of the other part

WHEREAS:

(a) The Applicant -

- (i) is the registered proprietor, or
- (ii) has entered into Contracts with or is entitled by exercising options to purchase from the present registered proprietors, or
- (iii) has or will be nominated as purchaser under Contracts with the present registered proprietors

of an estate in fee simple in all those lands situated at the intersection of Samford Road and Settlement Road, Keperra, Brisbane in the said State, more particularly described in the First Schedule hereto (hereinafter called "the said land");

(b) Application has been made to the Council on behalf of the Applicant to have the Town Plan for the City of Brisbane amended by excluding the said land from a Future Urban Zone and including it in a Particular Development (Shopping centre having a

vices an agreement in writing that all telegraphs to and within the said land shall be laid underground at no cost to the Council and shall provide the Council with a stamped copy of such Agreement contemporaneously with the delivery of this Deed, duly executed and stamped, to the Council and the expressions "telegraphic services" and "telegraphs" shall have the respective meanings attributed to them in the Post and Telegraph Act, 1901 as amended;

- (ii) obtain from The South East Queensland Electricity Board or the appropriate Government Authority or instrumentality charged with the supply of electricity an Agreement in writing that a satisfactory supply of electricity will be made available to and within the said land at no cost to the Council and shall provide the Council with a stamped copy of such Agreement contemporaneously with the delivery of this Deed, duly executed and stamped, to the Council.
- (b) The Applicant acknowledges that Samford Road is a declared main road and is under the control of the Queensland Department of Transport (hereinafter called "the said Department") and the Applicant hereby agrees and undertakes that prior to the Council issuing a Certificate of Classification in respect of any building or other structure proposed to be erected on the said land it will carry out, provide and satisfy all of the

requirements of the said Department including those requirements specified in the letter from the said Department to the Town Clerk dated the thirtieth day of January 1991 contained in the Sixth Schedule hereto as well as any requirements in respect of ingress and egress (if any) to and from the said land from and to Samford Road and from and to Settlement Road, any building or structure proposed to be constructed on the said land, any road widening, dedication of part of the said land as road and the construction of road and the Applicant acknowledges that the Council may withhold the issuing of any such Certificate of Classification until the Applicant produces to the Council a certificate that all of the requirements of the said Department have been complied with and are fully satisfied.

4. (a) To secure to the Council the due performance and fulfilment by the Applicant of the Applicant's obligations under these presents with respect to the payments or contributions required to be made or paid and the works required to be undertaken, carried out, provided and done by the Applicant pursuant to Clause 2(i) hereof, the Applicant will obtain at the Applicant's own cost and expense in favour of the Council and in form approved by the Council an Undertaking (hereinafter called "the Security") by a financial institution acceptable to the Council (which financial institution is

- (i) It shall take adequate steps to the satisfaction of the Manager to minimise erosion within the said land during the course of the development thereof;
- (ii) It shall carry out the landscaping of the said land generally in accordance with the plans referred to in Item D of the Third Schedule hereto and in so doing make provision for the planting of not less than one (1) tree for every six (6) car parking spaces to be provided upon the said land;
- (iv) It shall provide and carry out to the satisfaction of the Manager those works recommended in a letter dated the fourth day of December 1990 from Roger Brameld Consulting Pty Ltd to the Applicant, a copy whereof is contained in the Sixth Schedule hereto;
- (v) It shall in making any application in respect to the development of the said land pursuant to Section 24.3 of the Town Plan for the City of Brisbane include adequate provision to the satisfaction of the Manager for the parking and movement of vehicles servicing such development.
- (b) The Council acknowledges that the contribution to be paid to the Council pursuant to the provisions of Item F of Part II of the Second Schedule hereto shall be held by the Council pending the installation by the registered proprietor of the said land of water supply booster pumps in accordance with the requirements and to the satisfaction of the Manager and thereafter upon

THE SIXTH SCHEDULE HEREINBEFORE REFERRED TO



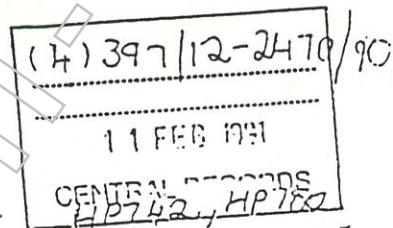
Metropolitan North District Office

**QUEENSLAND
TRANSPORT**

 Queensland Department of Transport
 183 Wharf Street Spring Hill
 PO Box 70 Spring Hill 4004 Brisbane
 Telephone: (07) 834 8344
 Facsimile: (07) 839 2064

30 January 91

 Enquiries: Peter Just
 Telephone: 834 8271
 Our Ref: 140/U95/126.4 PGJ:RMC
 Your Ref: (4)397/12-2470

 The Town Clerk
 Brisbane City Council
 GPO Box 1434
 BRISBANE QLD 4001


Dear Sir

 Samford Sub-Arterial
 Proposed Rezoning: Corner of Samford and Settlement Roads, Keperra

I refer to your letter of 4 January 91 regarding the above proposal on property described as Lot 1 RP 189177 Parish of Enoggera. This Departments previous correspondence of 29 September 89 and 10 July 90 also refers.

This Department would have no objection to this rezoning and subsequent development as shown on the layout plan provided that:

- a) The Samford Road access to the site is provided with geometry and location as shown on attached concept drawing No. E119/1 by Guymer Bailey Architects.

- b) The Developer of Lot 1 on RP 189177 obtains written confirmation from the owners of the adjacent property on Samford Road, Lot 5 RP 80433 that the owners will:

- Allow necessary works on their property to obtain adequate visibility of the proposed shopping centre on Lot 1 to the satisfaction of this Department.

Adequate visibility is defined as visibility of the Childcare Centre, Medical Centre and Fast Food A Buildings from Viewpoint B on Philip G Breene, Consulting Engineers and Planners Drawing No SK 1 (attached). In general, a driver at this viewpoint should have a complete view of each of these buildings. The Developer will be required to indicate the extent of the works necessary to achieve the above.

- Maintain the visibility requirements discussed above.

- On any future sale of Lot 5 on RP 80433, undertake to make the above a condition in the contract of sale of the property.

- c) The Samford Road/Settlement Road intersection is upgraded to the satisfaction of Council and this Department.

Tim Guymer

THE SIXTH SCHEDULE HEREINBEFORE REFERRED TO CONT'D

65

Concept plans should be submitted to Department of Transport prior to detailed design work commencing. It is expected that detailed plans and specifications for the proposed works on the declared road reserve will be submitted for approval prior to any construction on site.

Yours faithfully

Not Relevant

K F Kerr
DISTRICT ENGINEER
METROPOLITAN NORTH

Released under RTI - DDMR

BROGER
BRAMELD CONSULTING PTY LTD
 Civil, Traffic and Development Engineers

116 Ipswich Rd
 Woolloongabba
 Brisbane Q. 4102
 Ph: (07) 891 6466
 Fax: (07) 891 5982

Roger Brameld
 B.E. (Hons.), M. Eng. Sc.,
 B.Com., M.I.E. (Aust.)

The Manager
 Ellenhaven Pty Ltd
 G P O Box 3058
 BRISBANE Q 4001

T102 RHB:DAB
 4th December, 1990

Dear Sir,

Re: PROPOSED RETAIL DEVELOPMENT
SAMFORD & SETTLEMENT RD, KEPERRA

We have examined your proposed development in accordance with the drawings prepared by Guymer Bailey Architects Pty Ltd comprising:

- . shopping centre to maximum gross floor area(GFA) = 9500 sq m
- . shops (convenience goods) to maximum GFA = 500 sq m
- . shops (retail hardware) to maximum GFA = 1800 sq m
- . service industry to maximum GFA = 1400 sq m
- . shop (retail warehouse) to maximum GFA = 4800 sq m
- . fast foods stores to maximum GFA = 900 sq m
- . Business premises (medical centre) child care
 veterinary surgery, produce store and garden
 centre
- . TOTAL MAXIMUM GROSS FLOOR AREA = 22000 sq m

Traffic generation associated with the proposed development has been added to the forecast traffic on the road network. Existing intersections and access intersections have been analysed for both safety and capacity. As a result, the following works are recommended for the road network:

- . provision of traffic signals at the Settlement Rd access linked with signals at the Samford Rd/Settlement Rd intersection
- . dedication of a 3 metres road widening and widening of the carriageway to give four running lanes, each 3.5 metres wide, along the Settlement Rd frontage
- . appropriate widening at the access intersections and appropriate modification to the Samford Rd/Settlement Rd intersection.

Provision of servicing and car parking in accordance with Section 18.05 of the Town Plan, as reflected in the Architect's proposal plan, is sufficient to overcome on-site congestion and obviate the need for parking on the external roads.

In addition to servicing areas, taxi ranks and bus set-down areas are incorporated in the plan to provide an additional service for shopping centre patrons.

Provided the recommended works are undertaken on the road network, your proposed shopping centre and surrounding road network will have adequate capacity and will operate safely well into the 21st Century.

Yours faithfully,

Not Relevant

6/12

55446

861

Metropolitan District Office
183 Wharf Street
PO Box 70
Spring Hill Q 4004

Enquiries: R N Leeson
Telephone: (07) 3834 8227
Facsimile: (07) 3834 8363
Our Ref: 510/249
0213r!ng
Your Ref: P7081.28.01

15 June 1998

Baseline Consulting P/L
PO Box 3635
SOUTH BRISBANE Q 4101

Attention:

Not Relevant

Dear Sir

**Brisbane City - Samford Sub Arterial Road
Proposed Shopping Development
(Lot 1 on RP189177)
1028 Samford Road, Keperra**

I refer to your letter of 28 January 1998 concerning the proposed shopping centre development at the above site. ^{→ F846}

You are aware that the Department advised the Brisbane City Council, by letter of 30 January 1991, that it has no objection to a proposal to rezone and develop this site. This approval was subject to conditions specified in that letter.

Your letter of 28 January 1998 requests that this Department agree, in principle, with an amended layout that differs substantially from the layout originally submitted and not objected to in 1991.

As it is considered that these differences may have a significant effect on the State-controlled road, your new layout is, in effect, a new application and will be treated as such.

The Department of Main Roads does not approve of the layout suggested in your letter of 28 January 1998. However, it would be prepared to reconsider this amended layout provided the following issue concerning adverse impact to the State-controlled road is addressed to the Department's satisfaction.

- A detailed Traffic Study, prepared by a qualified Traffic Consultant, is to be submitted that will assess the adverse impact of the development on the State-controlled road network to both a five year and a ten year horizon (in particular, Samford Road and

M/c.

Settlement Road intersection) and identify any works required to be undertaken by the developer, as a direct result of the proposal.

The study should also take into consideration the proposed rezoning and subdivision of land on the western side of Settlement Road, ie. Lot 1278 on SL10260 or 1046 Samford Road, Keperra, the old drive-in theatre site, with respect to access to that property, and the combined impact of the developments on the Samford Road/Settlement Road intersection. It should be noted that the developer may need to address compensation to Main Roads as a result of adverse impact directly related to the proposal.

It should also be noted that the Main Roads' conditions set on the previous layout are still applicable.

A copy of this letter has been sent to Brisbane City Council for information.

Yours faithfully

Not Relevant



(Bob Drew)

DISTRICT DIRECTOR (METROPOLITAN)

Released under RTI - DPM

B/c 1. **Chief Executive Officer**
Brisbane City Council
GPO Box 1434
BRISBANE Q 4001

For your information.

2. *Paul Giese*

Not Relevant

[Handwritten mark]

(Bob Drew)

DISTRICT DIRECTOR (METROPOLITAN)

15 June 1998

Not Relevant

15.6.98

Released under RTI - DTMR

Main Roads

Department of Main Roads
Office

Q 4004

61821



Enquiries: Paul Grice
Telephone: (07) 3834 8249
Facsimile: (07) 3834 8363
Our Ref: ~~510/248~~
PG:1132:SP
Your Ref: 253/15-3679/98

510/249

28 August 1998

Chief Executive Officer
Brisbane City Council
G P O Box 1434
BRISBANE QLD 4001

Dear Sir

**Brisbane City : Samford Sub Arterial Road
Carrying Out Operational Work for the
Proposed Shopping Development
(Lot 1 on RP 189177)
1028 Samford Road, Keperra**

I refer to Item No.1.10 from Daily Team Meeting Minutes of 20 August 1998, received on 26 August 1998, concerning the above "development permit" only.

Main Roads advised Council by letter, dated 30 January 1991, that it has no objection to a proposal to rezone and develop this site. This approval was subject to conditions specified in that letter. However, in accordance with the provisions of the Transport Infrastructure Act 1994, the Department of Main Roads approves of the proposal, subject to the following:

- No access to the site, during the carrying out of the operational works, to be provided via Samford Road frontage.

The Department of Main Roads reserves the right to re-assess this advice should the proposal not proceed along the lines indicated and the above advice is valid for 2 years from the date of this letter.

Yours faithfully

Not Relevant

(Bob Drew)

DISTRICT DIRECTOR (METROPOLITAN)

26/8/98

**MINUTE OF THE DAILY TEAM MEETING
FOR THE DEVELOPMENT ASSESSMENT TEAM WEST
HELD ON THURSDAY 20 AUGUST 1998**

Item number: 1.10

3679298.21A

SITE:	APPLICATION:
Address of Site: 1028 Samford Road, Keperra Real Property Description: Lot 1 on RP 189177 Parish of Enoggera Area of Site: 66,650 m² Existing Zone: Particular Development (401) Name of Owner: Ellenhaven Pty Ltd Name of Ward: Enoggera Ward	Aspects of development: Carrying out operational work (Development permit) Description of Proposal: Scrutiny of Engineering Plans Purpose of proposal under Town Plan: Shopping Centre Applicant: Indigo Projects Pty Ltd Council file reference: 253/15-3679/98 Lodgement Date: 18 August 1998

Jill Kearney (crl4)

The Development Assessment Team reviewed the above application.

After considering the proposal, the Development Assessment Team made the following recommendation.

RECOMMENDATION OF DEVELOPMENT ASSESSMENT TEAM

Properly-made application:	Yes
Category of Application:	Type C
Aspects of development:	Based on a preliminary review of the application the aspects of development sought by the applicant appear to be correct.
Assessment Manager:	Technical Support Group
Officers responsible for assessment (from Development Assessment Team):	
Acknowledgment letter due date:	1 September 1998
Due date of any information request:	
Due date of any extension to information request period:	
Referral Agencies:	Department of Main Roads (1/9/98)
Consultation:	
Seek additional Councillor comment:	No
Code or Impact assessment process:	This application will be assessed using code assessment procedures.
Level of public consultation required:	No statutory consultation is required for this application.
Referral coordination:	This application does not require referral coordination.

Identified Issues:

Advise Department of Main Roads that it is Operational Works

Standard Advices:

Standard Conditions:

Presentation to TAG:

This application does not need to be presented to TAG.

Asst. Man. Delegate:

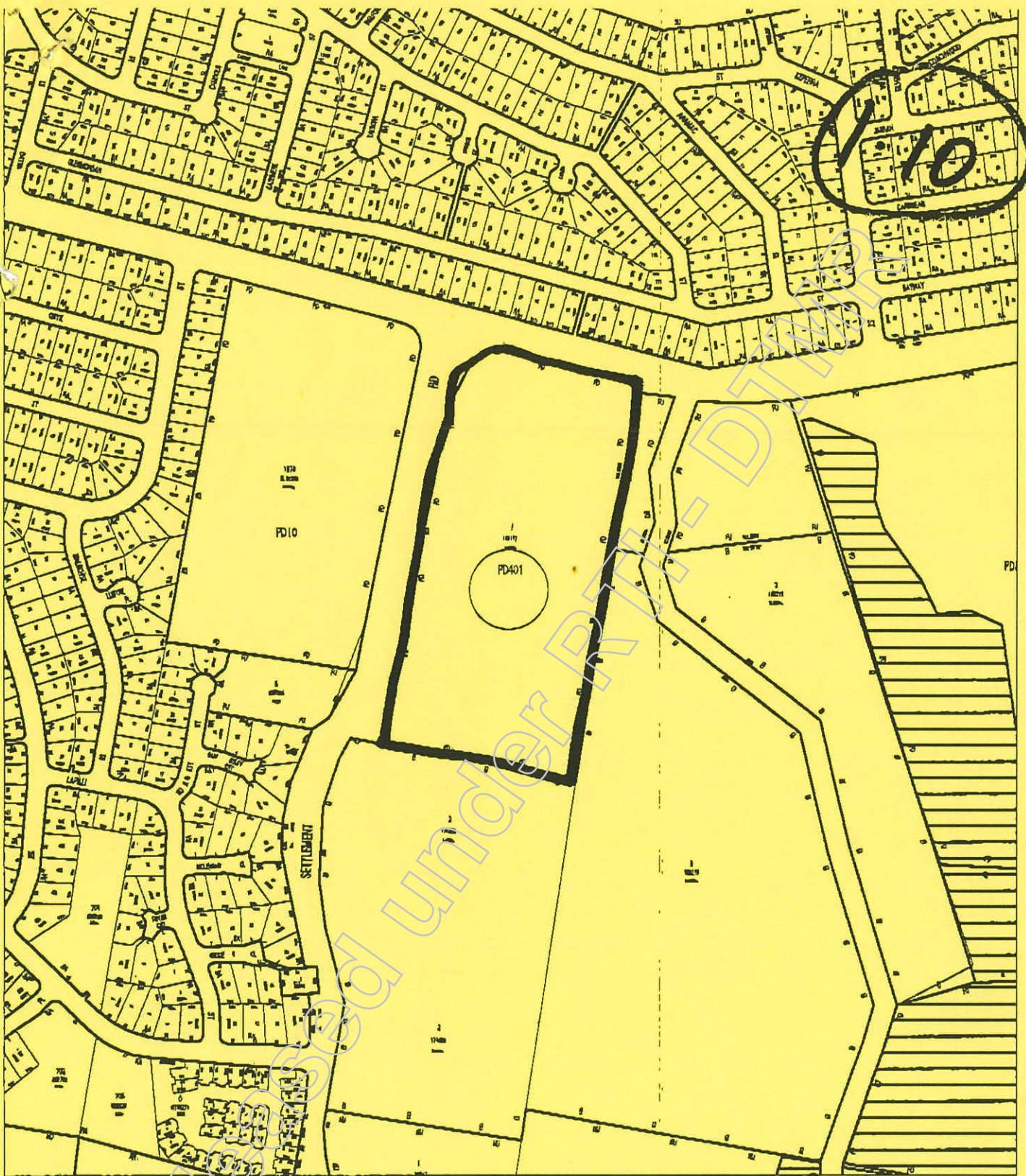
A/SEAW

Chairperson

(Signature)

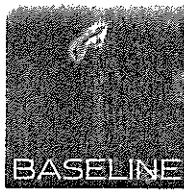
(Date)

Released under RTI - DTMR



APPLICATION TYPE: Code Impact C.I.P. Enquiry
 Other

DESCRIBE PROPOSAL: Operational Works
 SITE ADDRESS: 1028 Sanford Rd, Kibera
 RPD: L. 1 RD 189177
 APPLICANT'S NAME: Indigo Projects Pty Ltd
 POSTAL ADDRESS: 12 Antman Place, Spring Hill
 OWNER'S NAME: Not Relevant
 FILE NO: 2531/15-3679/98 DATE: 19/8/198 TEAM: W SITE AREA: 66,650
 EXISTING ZONE: PD 401 RDA: ← SDA: ← VPO: YES / NO HERITAGE: YES / NO



- BASELINE CONSULTING PTY LTD

Development Consultants and Engineers

A.C.N. 067 243 314

Our Ref : P7081.03.08

14th August 1998

The Manager
Development Assessment Team West
Brisbane City Council
GPO Box 1434
BRISBANE QLD 4001

Attention: Mr Paul Toohey

Dear Sir

Re : SHOPPING CENTRE-SAMFORD/SETTLEMENT RDS, KEPERRA

I refer to our your discussions with Not Relevant from Indigo Projects regarding the above development, in particular the discussion on drainage and fill application.

Attached please find an application for carrying out of operational works , being drainage and fill works, for the above site. Our Client's cheque for the lodgement fees of \$550 as advised by Mr Greg Jones is attached.

A report on supporting information for the application is also attached. Should any aspect of this application require clarification, please do not hesitate to contact us.

Yours faithfully
Baseline Consulting Pty Ltd

Not Relevant

Director

Cc Indigo Projects Pty Ltd-

96 Victoria Street, West End Q 4101
Postal Address: PO Box 3635 South Brisbane Q 4101
Facsimile (07) 3844 7588 Telephone (07) 3844 5900
Registered Professional Engineering Unit of Queensland



Form 1A - IDAS Development Application

Integrated Planning Act 1997 (IPA) s 3.2.1

This form **MUST** be used for all development applications under the IPA, including those involving assessment under the Building Act 1975 and under the Environmental Protection Act-1994. It may also be used for plumbing and drainage work under the Sewerage and Water Supply Act 1949.

Mandatory information items 1 - 13 Refer to the Explanatory Notes before completing

1 Applicant details

Name *In full*

Company name *If applicable*

Postal address

Phone no.

Fax no.

Email

Signature,

2 Property description

Street address *Include no., street, suburb and postcode*

Shop/tenancy no. *If applicable*

Level *If applicable*

Lot

RP/GTP/BUP/CP no.

If plan not sealed supply previous

Lot

RP/GTP/BUP/CP no.

3 Owner's consent *If applicant is not the owner*

Name *In full*

Postal address

Signature, Company seal or ACN

4 Application and approval type

What do you consider describes the aspect/s of development applied for and the approval/s sought?

	Development Permit	Preliminary Approval
Carrying out building work	<input type="checkbox"/>	<input type="checkbox"/>
Carrying out plumbing or drainage work	<input type="checkbox"/>	<input type="checkbox"/>
Carrying out operational work	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Making a material change of use of premises	<input type="checkbox"/>	<input type="checkbox"/>
Reconfiguring a lot	<input type="checkbox"/>	<input type="checkbox"/>

5 Superseded planning scheme

Only applicable if assessment of the application is required under a planning scheme. Tick 'no' if not applicable

Do you wish the application to be assessed under a superseded planning scheme?

No Go to 6

Yes Provide details which will identify the superseded planning scheme under which assessment is sought or development is proposed

Planning scheme

Date adoption notified in Gazette

Office use only	Fees payable	Date received	Handling officer's signature	Approved Form 1A Version 2 (24/6/98)

Operational Work

Identify the type of operational work to be carried out

- A Stormwater / Roads / Earthworks**
- Stormwater Drainage (Temporary)
- Stormwater Management Plan
- Roadworks
- Traffic Functional Layout Plan
- Traffic Signs and Lines
- Earthworks
- Erosion & Sediment Control Plans
- B Street Lighting / Electricity**
- C Water Supply**
- Water Reticulation
- Booster Pump
- Preliminary Environmental Assessment
- D Sewerage**
- Sewer Reticulation
- Pump Station
- Preliminary Environmental Assessment
- E Landscaping**
- Landscaping and Site Works Plan (on private land)
- Landscaping and Site Works Plan (park land and street trees)
- F Environmental Management Plan**
- G Vegetation Management Plan**
- H Excavating / Filling that affects the premises or its use**
- I Extracting gravel, rock, sand or soil**

J Planting or managing trees for an ongoing forestry business

K Are the works in relation to an approval for Reconfiguring a lot? No Yes
 If Yes, number of proposed lots

L Does the reconfiguration involve common property? No Yes

M Is the reconfiguration for residential purposes? No Yes

Description of Proposal

Creation of pad levels suitable for a Shopping Centre



DETAILED CONSULTANTS REPORT
DRAINAGE AND FILL OPERATIONAL WORKS
CORNER SAMFORD AND SETTLEMENT ROADS
KEPERRA

General

This application is for bulk earthworks approval for the creation of general pad levels for a proposed shopping centre. Detailed final levels will be included in the engineering plans prepared to support the construction of the centre.

Earthworks

The earthworks required comprises of:

- Cut to fill 30,000 cu m
- Cut/Remove 240,000 cu m

Geology

The site comprises a decomposed granite strata overlain by sandy loam. A detailed geotechnical report by Soil Surveys Engineering Pty Ltd is attached.

Site Conditions

The site slopes from east to west. Drainage from the adjacent sites to the south and west traverses the site to a culvert across Settlement Rd and the into the disused Keperra Drive-in Cinema complex.

Surrounding Area

The site is bounded by operating quarries to the east and the south.

Settlement Rd forms the western boundary, with a residential subdivision proposed on the disused Keperra Drive-In site. Around the Drive-In are existing houses.

Samford Road forms the northern boundary of the site. It has existing houses to the north of the road.

Amenity

While care will need to be exercised in carrying out the required earthworks, there should not be any significant impact on the existing residences in the area. Works will need to be in accordance with the measures noted in Brisbane City Council's publication entitled Environmental Best Management Practices 1996.

Matters to be addressed in the operating instructions of the work programme include:

- Dust minimisation
- Noise minimisation
- Haul routes
- Washdown protection



All the above aspects are currently being successfully implemented in regard to the three existing operating quarries in the immediate vicinity. As they are likely to be on-going operations and these works are expected to be carried in some six months, we see no significant problems in controlling the impact.

Details of haul routes and internal operating aspects will be provided when the successful civil contractor has been appointed and the off site disposal location for the spoil is known.

Hydrology

During the earthworks operation, the stormwater runoff will be detained to ensure no worsening of the discharge occurs. A temporary detention pond will be constructed in the vicinity of the culvert crossing Settlement Rd as shown on attached Baseline Consulting Pty Ltd Plan No P7081.101.

Supporting calculations are shown in the report by Storm Water Consulting entitled 577 Settlement Road, Keperra-Construction Phase Detention Basin Analysis Report dated 28 July 1998 (copy attached).

Siltation Control Measures

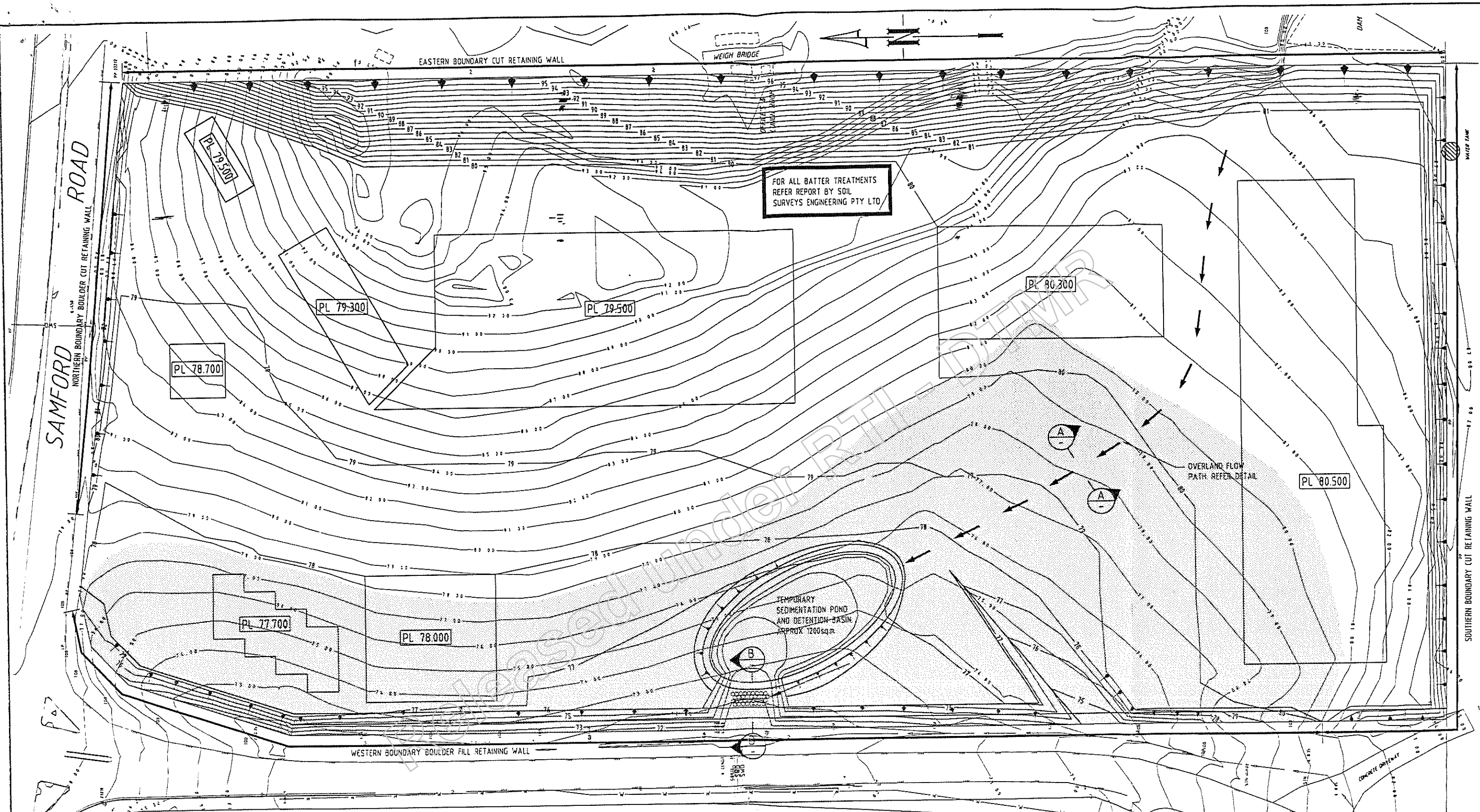
As part of the temporary detention pond described above, a temporary sediment pond has been incorporated. It has been designed in accordance with the Institution of Engineers Australia Sediment and Erosion Control Manual 1998. Details of the sediment control measures are shown on Baseline Consulting Pty Ltd Plan P7081.102 attached.

Erosion

Proposed control measures are shown on Baseline Consulting Pty Ltd Plan P7081.102 attached.

Conclusion

Although the bulk earthworks will form a significant project, it is neither unusual in nature or excessively large in size that it would require special control measures over the activities.

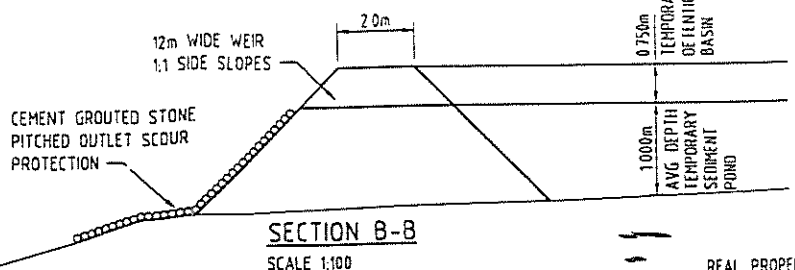
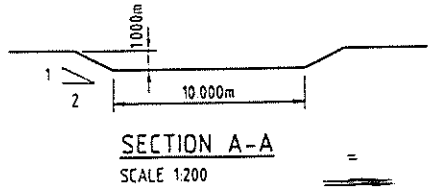


FOR ALL BATTER TREATMENTS
REFER REPORT BY SOIL
SURVEYS ENGINEERING PTY LTD

OVERLAND FLOW
PATH. REFER DETAIL

TEMPORARY
SEDIMENTATION POND
AND DETENTION BASIN
APPROX 1200sq.m

- LEGEND**
- 87.00 — EXISTING SURFACE CONTOUR
 - 80 — FINISHED SURFACE CONTOUR
 - PL 80.500 BUILDING PAD LEVEL
 - ← STORMWATER OVERLAND FLOW PATH REFER DETAIL A-A
 - ▨ AREA OF FILLING



SCALE 1:500 (BEFORE REDUCTION) FILE NUMBER: 70811014

AJS SURVEYS PTY LTD
 CONSULTING SURVEYOR
 100 WILSON ST
 STANLEY QLD 4080
 TEL: (07) 3844 7588
 FAX: (07) 3844 7589
 EMAIL: ajs@ajs.com.au
 AJS

APPROVED... (RPEQ 3607) FOR AND ON BEHALF OF
BASELINE CONSULTING PTY LTD
 Development Consultants and Engineers
 A.C.N. 087 243 314
 86 Victoria Street, West End Q 4101 PO Box 3835 South Brisbane Q 4101
 Facsimile (07) 3844 7588 Telephone (07) 3844 5900 Email: baseline@baseline.com.au
 Registration No. 2041

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IAS-ANZ
 QUALITY ASSURED COMPANY
 15/178 150 0001594 REGD. NO. 436

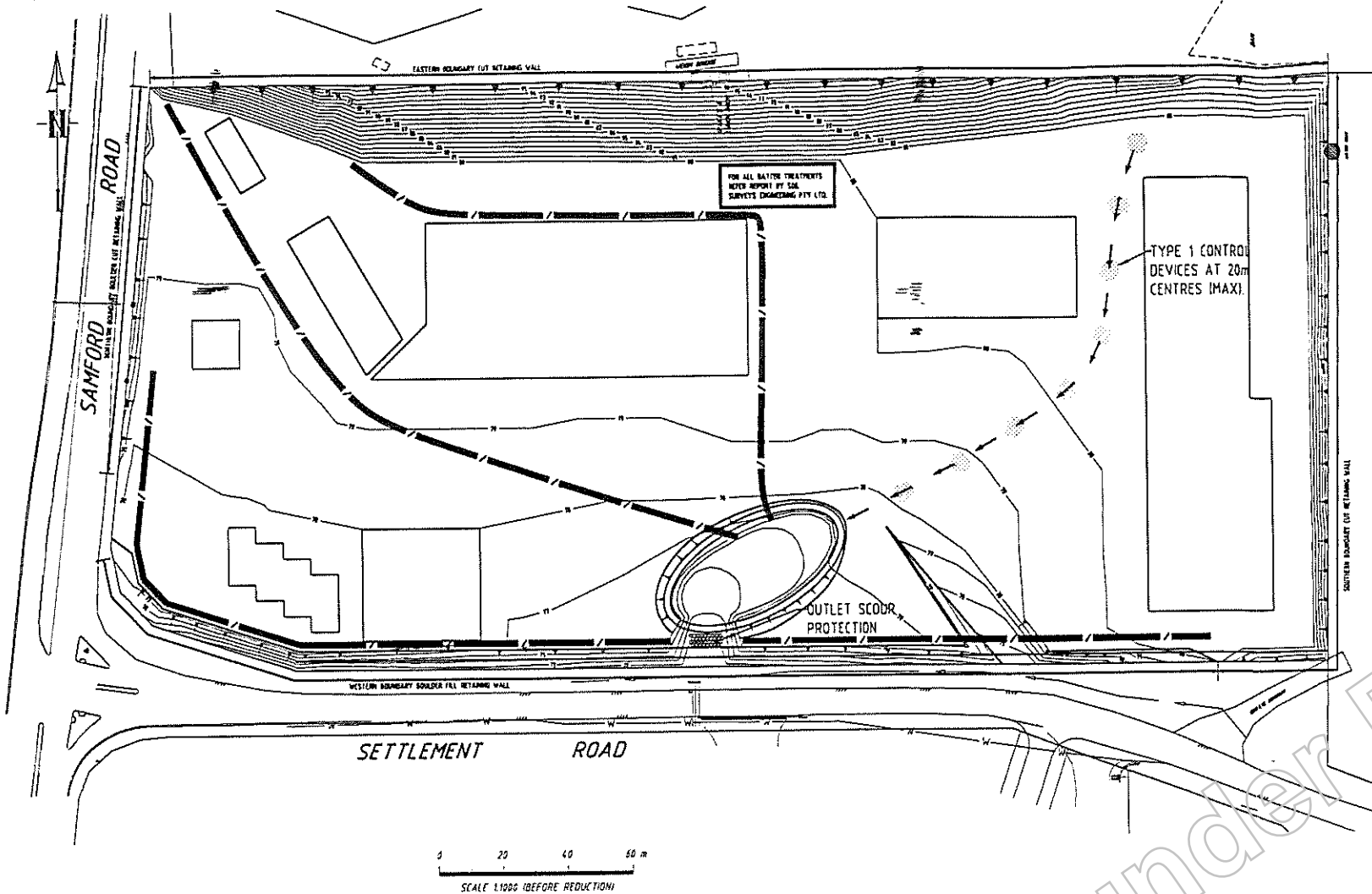
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DRAWN	DJS	
CHECKED	SJK	
DESIGNED	DJS	
DATE	JUL 98	

indigo projects

JOB DESCRIPTION
KEPERRA GREAT WESTERN SUPERCENTRE
SAMFORD & SETTLEMENT ROADS, KEPERRA

DRAWING TITLE
PRELIMINARY BULK EARTHWORKS PLAN

DRAWING NO. **P7081101** REV. **A**



VEGETATION PROTECTION

- TREES WITHIN 4m OF GENERAL MACHINE OPERATION SHOULD BE PROTECTED WITH TREE GUARDS. THESE COMPRISE RUBBER OR HARDWOOD GIRDLES CONSTRUCTED WITH 18m BATTENS CLOSELY SPACED AND ARRANGED VERTICALLY FROM GROUND LEVEL. GIRDLES SHOULD BE STRAPPED TO THE TREE PRIOR TO CONSTRUCTION AND REMAIN UNTIL COMPLETION.
- CONSTRUCTION VEHICLE ACTIVITY SHOULD BE LIMITED BY FENCING OF UNDISTURBED AREAS.
- WHERE POSSIBLE TREE ROOTS SHOULD BE TUNNELLED UNDER, RATHER THAN SEVERED. IN THE EVENT OF ROOT DAMAGE, MAKE A CLEAN CUT ABOVE THE SEVERED ROOT AND TREAT THE ROOT WITH A SUITABLE FUNGICIDE.

SOIL MANAGEMENT

- TOPSOIL AND SUBSOIL SHOULD BE STOCKPILED SEPARATELY.
- NO NET LOSS OF SEDIMENT SHOULD OCCUR FROM THE WORK SITE. THIS WILL NECESSITATE THE USE OF APPROPRIATE EROSION AND SEDIMENT CONTROLS. THESE SHOULD BE IMPLEMENTED AT THE SITE ESTABLISHMENT PHASE AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- NO SOIL SHOULD BE STOCKPILED WITHIN 5m OF THE CREEK BANK OR WITHIN THE CREEK CHANNEL.
- CARE SHOULD BE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE STORMWATER SYSTEM. THIS MAY INVOLVE PLACING APPROPRIATE SEDIMENT CONTROLS AROUND STOCKPILES AND/OR SILT TRAPS AROUND GULLIES.

REHABILITATION

- PRE-DISTURBANCE SOIL PROFILES AND COMPACTION LEVELS ARE TO BE REINSTATED.
- THE TRENCH AREA IS TO BE TOPSOILED AND SEEDED OR TURFED UPON COMPLETION OF WORKS.
- ALL DISTURBED AREAS ARE TO BE LEFT IN A STABLE CONDITION.
- ALL PLANTINGS WILL NEED TO BE MAINTAINED THROUGHOUT THE ESTABLISHMENT PHASE.

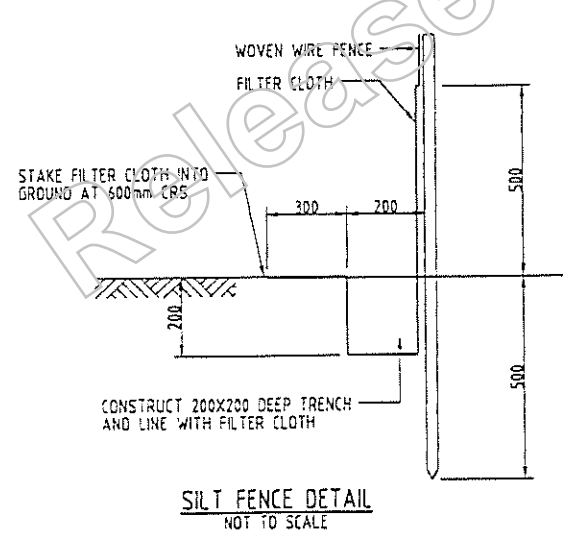
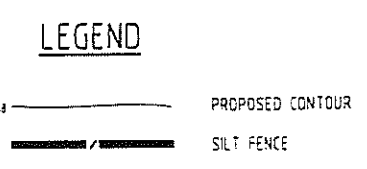
PLEASE NOTE THAT ALL ENVIRONMENTAL PROTECTION MEASURES SHOULD BE IMPLEMENTED PRIOR TO ANY CONSTRUCTION WORK, INCLUDING CLEARING, COMMENCING. FOR FURTHER INFORMATION PLEASE CONTACT AN OFFICER FROM THE ECOLOGICAL ASSESSMENT TEAM ON 3403 9585.

ENVIRONMENTAL NOTES

- IT IS THE CONTRACTORS RESPONSIBILITY TO TAKE DUE CARE OF NATURAL VEGETATION. NO CLEARING IS TO BE UNDERTAKEN WITHOUT PRIOR APPROVAL FROM THE SUPERINTENDENT.
- TO AVOID DISTURBANCE TO EXISTING TREES, EARTHWORKS WILL BE MODIFIED AS DIRECTED ON-SITE BY THE SUPERINTENDENT.
- THE LOCATION OF SILTATION AND EROSION CONTROL DEVICES MAY BE VARIED ON SITE BY THE SUPERINTENDENT. DETAILS OF THESE DEVICES ARE SHOWN ON DRG NUMBER P708102.
- ACCESS TRACKS THROUGH THE SITE WILL BE LIMITED TO THOSE DETERMINED BY THE SUPERINTENDENT AND THE CONTRACTOR PRIOR TO ANY WORK COMMENCING.
- THE CONTRACTOR SHALL AT ALL TIMES WITHIN ALLOTMENTS AND PARKLANDS MINIMISE THE DISTURBANCE OF THE EXISTING VEGETATION INCLUDING GRASS COVER, AND IF REQUESTED SHALL ROPE OFF OR SIMILARLY PROTECT ANY AREAS DIRECTED BY THE SUPERINTENDENT.

EROSION AND SILTATION CONTROL

- PROVIDE TYPE 1 DEVICES 3m (MAXIMUM) DOWNSTREAM OF ALL OUTLETS AND AT 20m (MAXIMUM) CENTRES ALONG OPEN CHANNELS AND AROUND FIELD INLETS.
- PROVIDE TYPE 5 DEVICES AT ALL GULLY PITS.
- PROVIDE TYPE 3 DEVICES ALONG DOWNSTREAM PROPERTY LINE AS DIRECTED BY SUPERINTENDENT.
- ADDITIONAL CONTROL DEVICES TO BE PLACED WHERE DIRECTED BY SUPERINTENDENT.
- ALTERNATIVE DESIGNS TO BE APPROVED BY SUPERINTENDENT PRIOR TO CONSTRUCTION.
- FOR DETAILS OF DEVICES REFER DRG No P78102.

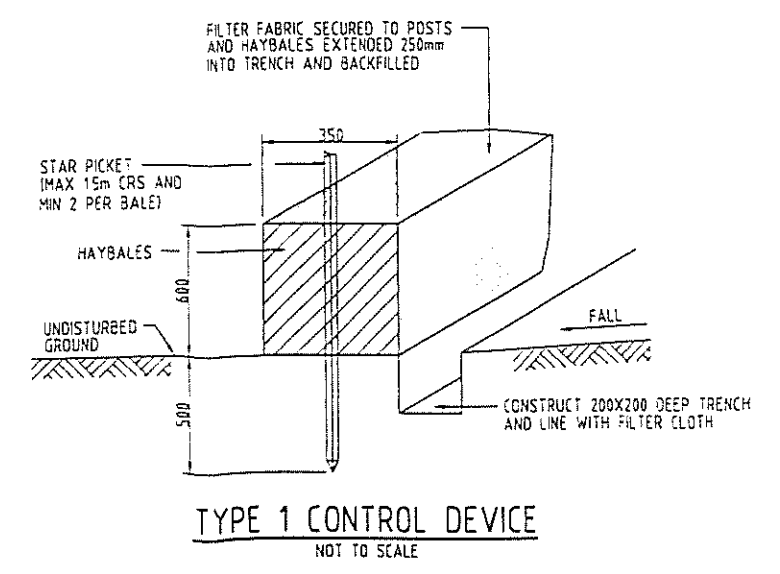


ERECTION NOTES

- WOVEN WIRE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 600mm AT TOP OF MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 150mm AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

MATERIALS

- POSTS**: STEEL EITHER T OR U TYPE OF 50mm HARDWOOD
- FENCE**: WOVEN WIRE 14 ga 150mm MAX MESH OPENING
- FILTER CLOTH**: FILTER AS SPECIFIED (TERRAM 1000, POLYFELT TS 500, BIDIUM U24 OR EQUIVALENT).
- PREFABRICATED UNIT**: GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT



577 SETTLEMENT ROAD

KEPERRA

**CONSTRUCTION PHASE
DETENTION BASIN ANALYSIS
REPORT**

4 August 1998

STORM
Water Consulting

Phone (07) 3398 4992
Fax (07) 3398 4993

METHOD OF CONSTRUCTION - BOULDER WALLS

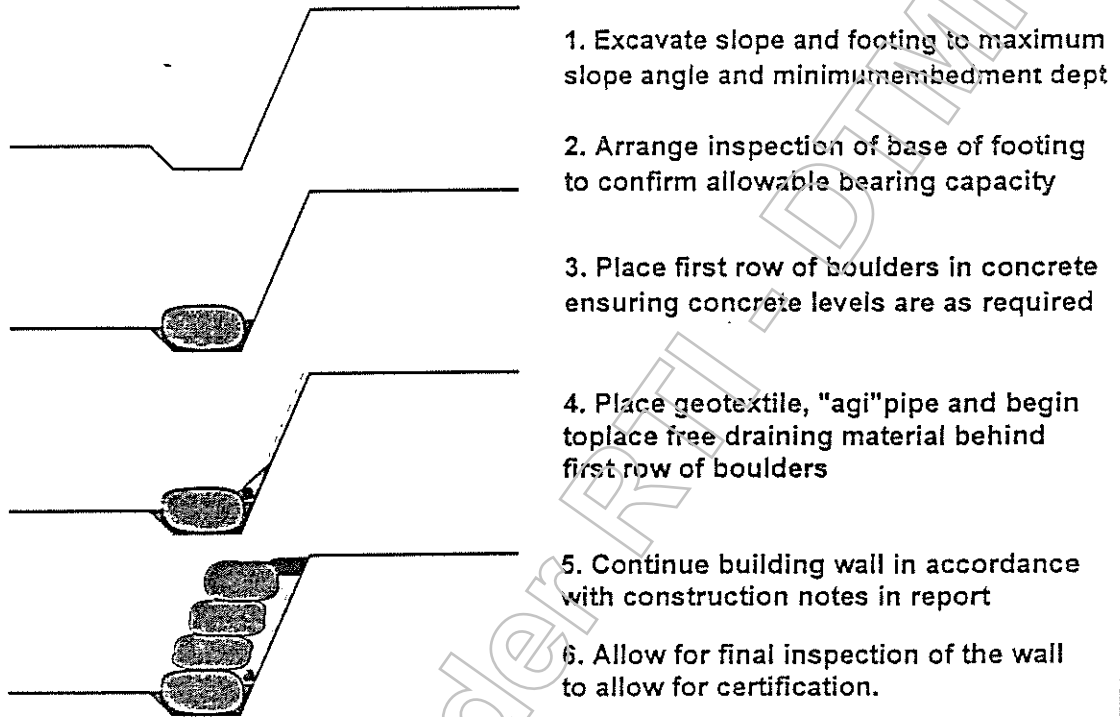


Figure 2

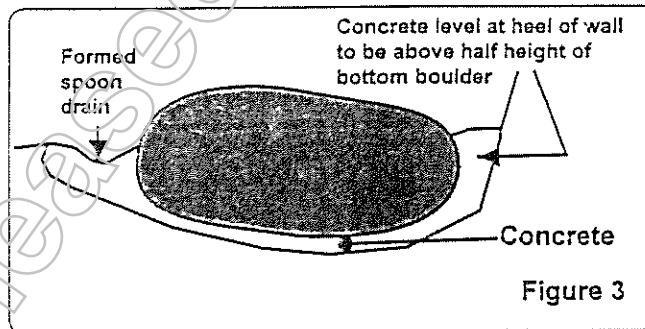


Figure 3

6.2 Retention Systems Eastern Boundary, Southern Boundary

On the eastern boundary the design platform level of RL 79.5 results in a batter up to 17 metres in height with a maximum excavation depth of about 16 metres below existing ground levels. A distance of 23 metres has been allowed from the eastern boundary for the batter treatment. This includes an allowance of about 8 metres for placement of boulder "storage".

On the southern boundary the design platform level of RL 80.5 results in a maximum cut depth of about 6-8 metres. Generally a boundary edge clearance of at least 6 metres is available in this area.

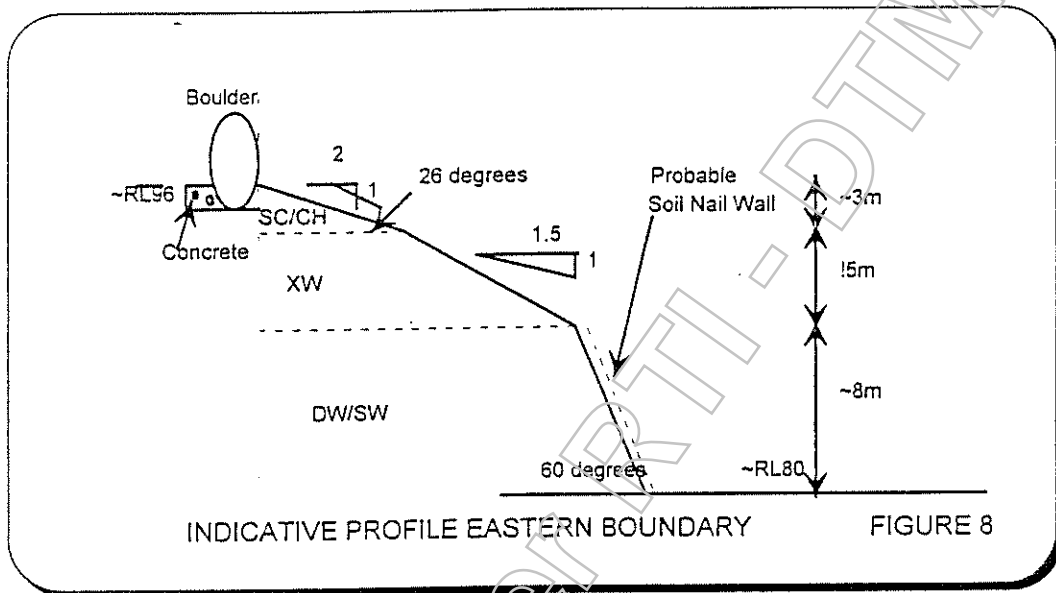
For both boundaries the options available are as follows:-

- i) Battered profile - adopting maximum slope angles as given in Table 6.
- ii) Soil Nail Wall
- iii) Retaining Structure
- iv) Combination of a battered profile with some form of retention (either iii) or iv))

6.2.1 Eastern Wall

For the height of batter proposed it is considered that the combination of battered slope and retention will be most appropriate for this boundary.

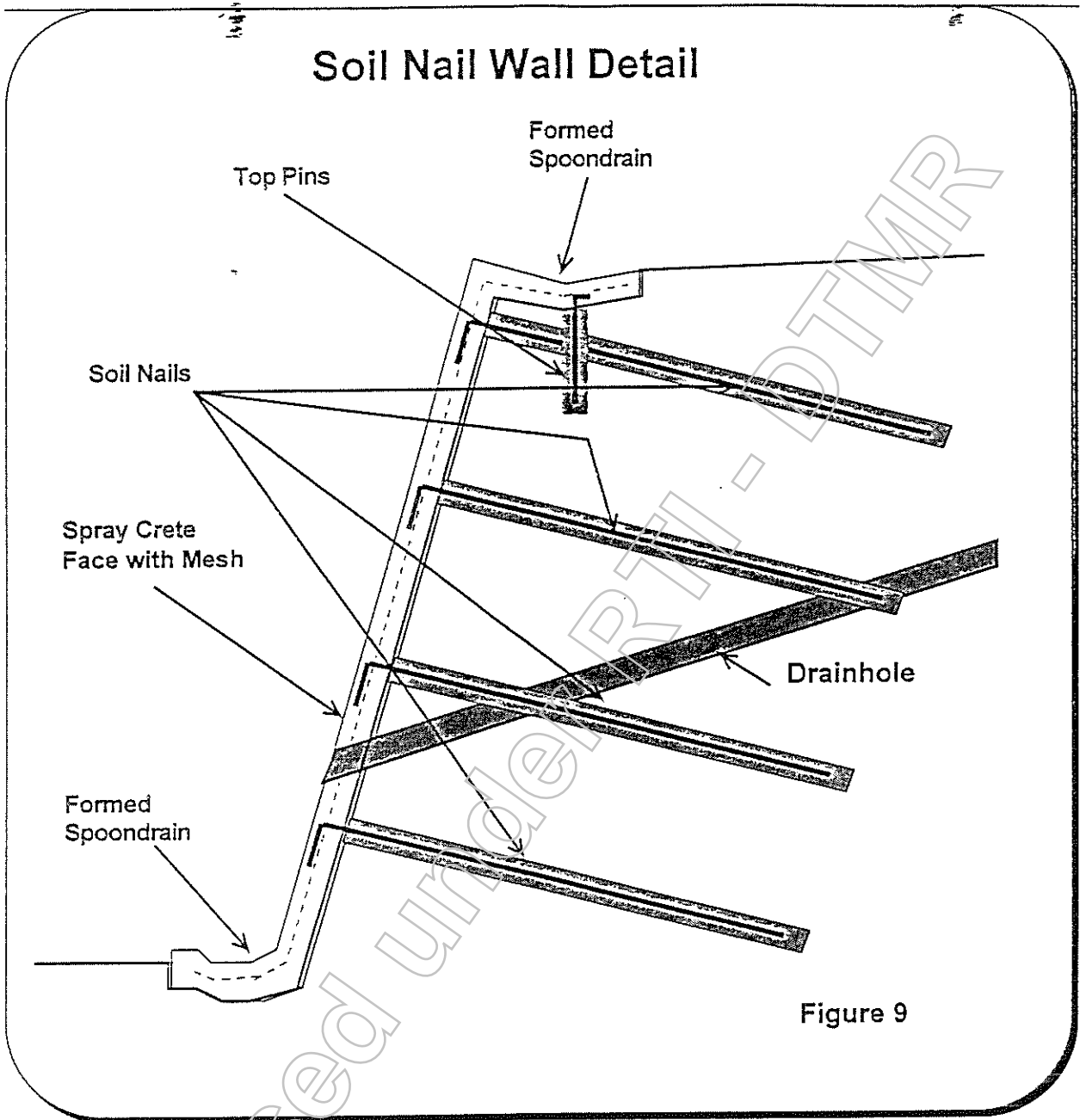
Subject to inspection of the rock during excavation it may be possible to minimise the amount of retention necessary. Figure 8 gives an indicative profile on the eastern boundary.



It is proposed to use large boulders along the top of the eastern boundary. It is envisaged that these be placed externally to the boundary line ie. to the east. The boulders should be embedded into a concrete footing.

Use of a soil nail/rock dowel wall should be allowed for the lower section of the profile where the slope angle is approximately 60 degrees.

Detail design has not been undertaken at this stage but Figure 9 shows the typical arrangement of this wall type.



6.2.2 Southern Wall

The height of the batter profile is not as great on the southern wall however the approach adopted for the eastern wall is still considered appropriate. This could consider a battered top slope with a lower soil nailed wall. At two locations turning bays are indicated which will reduce boundary clearances available. At these positions consideration could be given to a higher soil nail wall or a conventional retaining wall alternative.

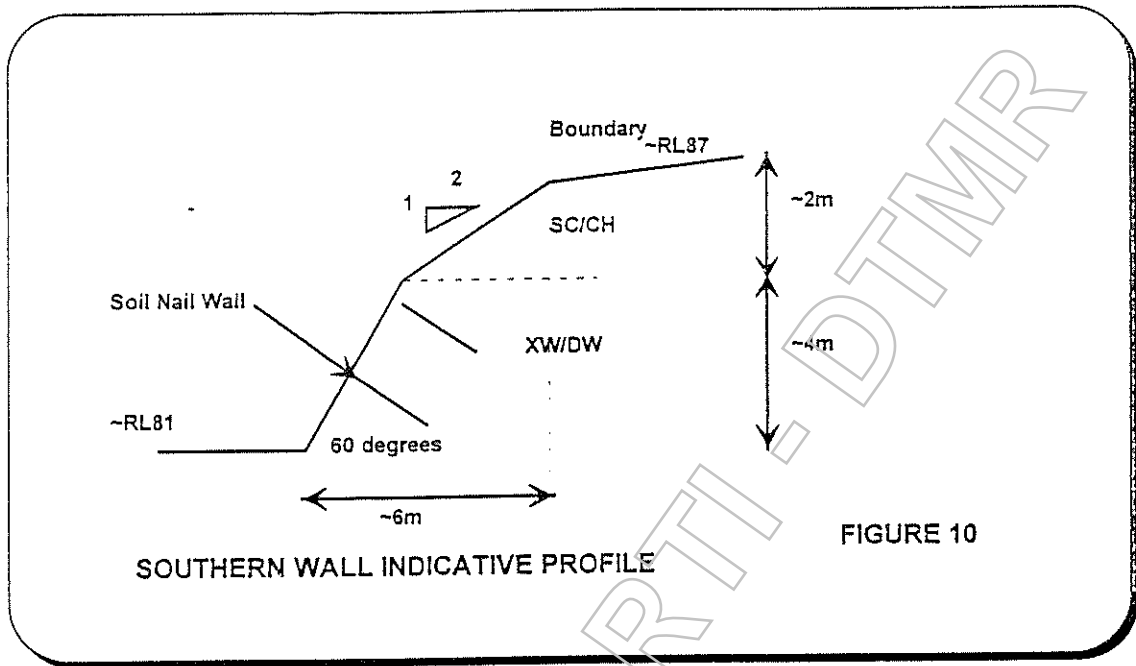


FIGURE 10

Released under RTI - DTMR

99

E925/6



gf.1985

24 September 2002

Department of Main Roads
South East Queensland Region
Metropolitan District
PO Box 70 Spring Hill 4004
Attention: Ross Blinco

Dear Sir, Great Western Super Centre, Keperra
Samford Road – “As constructed” drawings – street lighting
Your ref: 830/367

We refer to your letter of 21 August to Baseline Consulting, and are pleased to enclose the following “as constructed” drawings of the installation-

- P023289 sheets 1, 5, & 6 of 8.

We now look forward to your granting “off maintenance” status for this work.

Yours faithfully,

Not Relevant

Project Manager

Encl:

Cc: Baseline Consulting

METROPOLITAN DISTRICT				
FILE NO.	830/367			
DMS REF NO.	830/367			
- 1 OCT 2002				
STATUS	ACTION	FYI	COPY	B/U
BK	✓		✓	

Indigo Projects
ABN 18 098 798 095
Lvl 9, 445 Upper Edward St
Spring Hill Qld 4000 Aust.
Telephone: 617 3830 1000
Facsimile: 617 3830 1099
mail@indigoprojects.com.au

ATTN:

Not Relevant

RECEIVED
23 5 2002

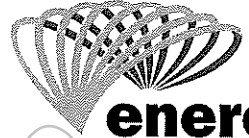
Not Relevant

"As Constructed" Drawings For

Sanford Road & Investment Road, Kippaiah
As Discussed

Records

Not Relevant



energyx

150 Charlotte Street
Brisbane Qld 4000
GPO Box 1461
Brisbane Qld 4001 Australia
Telephone 07 3407 4000
Facsimile 07 3407 4609
Web www.energyx.com.au

19/9/2002

With Compliments

Released under RTI - DEMR

104

830/367

DMS E-Mail Record

Document ID: E94821		Outwards E-mail	
Date Written: 25/10/2002		Date Registered: 25/10/2002	
Author: Brijesh Z Kumar		Project ID:	
Title: Engineer (Development Control)		Author Ref:	
Corporate Author: SOUTH EAST QUEENSLAND REGION METROPOLITAN DISTRICT		Related Docs:	
Subject: Mail Memo - Re: Great Western Super Centre - Keperra - As Built Drawings - Off Maintenance		Related Files:	
Additional Info:		Title:	
Action Officer:		Business Unit:	
Action Due:		Date Actioned:	
Action Status:			
Security:			
File Details			
File ID:	830/00367[3] - Road Systems Planning Roadworks Requests Samford Sub Arterial Enoggera Road 140-U95-100		
On File:	<input checked="" type="radio"/> Yes <input type="radio"/> No	Folio No:	
Copies of Documents Placed Onto:			



Brijesh Z Kumar on 25/10/2002 09:14:35

To: Not Relevant @baselineconsulting.com.au>
 cc:
 Subject: Re: Great Western Super Centre - Keperra - as built drawings - off maintenance

FYI
 ----- Forwarded by Brijesh Z Kumar/SouthEast/QMR/Au on 25/10/2002 09:12



Brijesh Z Kumar on 24/10/2002 17:25:38

To: Not Relevant @indigoprojects.com.au>
 cc:
 Subject: Re: Great Western Super Centre - Keperra - as built drawings - off maintenance

Not Relevant

Thanks for your e-mail and the as built lighting drwgs.

If you look at the conditions and the form we accept as built you will know why I did not respond. The as built are to be submitted in film transparencies or electronically in Autocad 14 software. See below the part I am referring to of the approval letter and should have been repeated in the 'On Mtce' letter.

"Prior to these works being accepted "off maintenance", and return of the maintenance bond, full size "as constructed" film transparencies must be submitted to this office. The "as constructed" is also acceptable in electronic formats in Autocad version 14 drawing software".

I apologise for not responding earlier.

Regards
Brijesh

Not Relevant @indigoprojects.com.au> on 24/10/2002 15:43:25



Not Relevant @indigoprojects.com.au> on 24/10/2002 15:43:25

To: Brijesh Z Kumar/SouthEast/QMR/Au@qdot
cc: [Redacted] Not Relevant @baselineconsulting.com.au
Subject: Great Western Super Centre - Keperra - as built drawings - off maintenance

Brijesh,

You wrote to Baseline on 21 August and we responded on 24 September enclosing street light as built drawings. Could you advise when you will grant off-maintenance, and return our cash bond?

Regards,

[Redacted] Not Relevant

Project Manager

Phone: 07 3830 1005

Mobile: [Redacted] Not Relevant

Fax: 07 3830 1099

Email: [Redacted] NR @indigoprojects.com.au

Released under RTI - DTMR

BASELINE CONSULTING PTY LTD
Development Consultants and Engineers

A.C.N. 067 243 314

Our Ref: P7081.15.08
Your Ref: 839/367

15th August 2002

The Manager
Queensland Department of Main Roads
South East Region
Metropolitan District
183 Wharf St
SPRING HILL Q 4004

Attention: Mr Brijesh Kumar

Dear Sir,

**Re GREAT WESTERN SUPERCENTRE, SAMFORD/SETTLEMENT RDS,
KEPERRA**

Attached please find the 'as constructed' package for the above site works as required by your standard conditions and the 'on maintenance' inspection dated 4/4/01.

Please confirm if an 'off maintenance' inspection is required prior to releasing the developer's bond.

Should you require further information, please contact the undersigned.

Yours faithfully
Baseline Consulting Pty Ltd

Not Relevant

Director
RPEQ 3607

Cc Indigo Projects-

Not Relevant

BASELINE

BASELINE CONSULTING PTY LTD
Development Consultants and Engineers

A.C.N. 067 243 314

GREAT WESTERN SUPER CENTRE

Corner Samford & Settlement Roads, Keperra

QUEENSLAND DEPARTMENT OF MAIN ROADS

Reference Number: 830/367

AS CONSTRUCTED DOCUMENTATION

ROADWORKS

COMMERCIAL DEVELOPMENT

96 Victoria Street, West End Q 4101
Postal Address: PO Box 3635 South Brisbane Q 4101
Facsimile (07) 3844 7588 Telephone (07) 3844 5900
Registered Professional Engineering Unit of Queensland



TABLE OF CONTENTS

1. As Constructed Drawing List
2. On Maintenance Inspection Report
3. Form M994 – Details of Erection and Removal of Regulatory
Traffic Signs/ Devices
4. Roadworks and Pavement Test Results

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AS-CONSTRUCTED DRAWING LIST

Released under RTI - DTMR

DRAWING SCHEDULE & DISTRIBUTION REGISTER



PROJECT NAME:
KEPERRA GREAT WESTERN
SUPERCENTRE

JOB No: P7081

DISCIPLINE	DATE OF ISSUE													
CIVIL	DAY	08												
INTERNAL / EXTERNAL	MONTH	08												
WORKS	YEAR	02												

DRG No.	TITLE		REVISION											
P7081.C00	COVERSHEET, LOCALITY PLAN AND DRAWING SCHEDULE	I												
P7081.C01	GENERAL LAYOUT PLAN - INTERNAL WORKS	P												
P7081.C02	PAVEMENT AND KERB TYPE DETAILS PLAN - INTERNAL WORKS	F												
P7081.C03	DETAILED SETOUT AND FINISHED SURFACE PROFILE SHT 1 OF 6 - INTERNAL WORKS	E												
P7081.C04	DETAILED SETOUT AND FINISHED SURFACE PROFILE SHT 2 OF 6 - INTERNAL WORKS	E												
P7081.C05	DETAILED SETOUT AND FINISHED SURFACE PROFILE SHT 3 OF 6 - INTERNAL WORKS	E												
P7081.C06	DETAILED SETOUT AND FINISHED SURFACE PROFILE SHT 4 OF 6 - INTERNAL WORKS	E												
P7081.C07	DETAILED SETOUT AND FINISHED SURFACE PROFILE SHT 5 OF 6 - INTERNAL WORKS	E												
P7081.C08	DETAILED SETOUT AND FINISHED SURFACE PROFILE SHT 6 OF 6 - INTERNAL WORKS	E												
P7081.C09	GENERAL NOTES AND DETAILS	D												
P7081.C10	INTERNAL LINK ROAD LONGITUDINAL SECTION	C												

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TO: MAIN ROADS DEPARTMENT ATTENTION: BRIJESH KUMAR	A1	1												
	A3													
TO: ATTENTION:	A1													
	A3													
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P7081.C11	STORMWATER DRAINAGE LONG. SECTIONS SHT 1 OF 4 - INTERNAL WORKS	G																			
P7081.C12	STORMWATER DRAINAGE LONG. SECTIONS SHT 2 OF 4 - INTERNAL WORKS	C																			
P7081.C13	STORMWATER DRAINAGE LONG. SECTIONS SHT 3 OF 4 - INTERNAL WORKS	C																			
P7081.C14	STORMWATER DRAINAGE LONG. SECTIONS SHT 4 OF 4 - INTERNAL WORKS	C																			
P7081.C15	STORMWATER DRAINAGE CATCHMENT PLAN	G																			
P7081.C16	STORMWATER DRAINAGE CALCULATIONS SHT 1 OF 5 - INTERNAL WORKS	C																			
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P7081.C18	STORMWATER DRAINAGE CALCULATIONS SHT 1 OF 5 - INTERNAL WORKS	C																			
P7081.C19	STORMWATER DRAINAGE CALCULATIONS SHT 1 OF 5 - INTERNAL WORKS	C																			
P7081.C20	STORMWATER DRAINAGE CALCULATIONS SHT 1 OF 5 - INTERNAL WORKS	C																			
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Facsimile (07) 3844 7588 Telephone (07) 3844 5900

Email: mail@baselineconsulting.com.au

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P7081.C22	SETOUT COORDINATES AND LEVELS SHT 2 OF 3 INTERNAL WORKS	H												
P7081.C23	SETOUT COORDINATES AND LEVELS SHT 3 OF 3 INTERNAL WORKS	C												
P7081.C24	STORMWATER DRAINAGE BRIDGING SLAB DETAILS AND ROAD CROSSING EXTENSION	B												
P7081.C25	STORMWATER DRAINAGE SURCHARGE CHAMBER DETAILS - MH 4/1	H												
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P7081.C30	CONCRETE JOINTS LAYOUT PLAN AND DETAILS	B												
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P7081.C41	DETENTION BASIN INLET TOWER DETAILS	C												
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P7081.C200	CONTROL LINE SETOUT	C												
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P7081.C203	ROAD AND INTERSECTION DETAIL PLAN SHT 3 OF 5 - EXTERNAL WORKS	D												

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 KEPERRA GREAT WESTERN
 SUPERCENTRE

JOB No: P7081

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7081.C204	ROAD AND INTERSECTION DETAIL PLAN SHT 4 OF 5 - EXTERNAL WORKS	E										
P7081.C205	ROAD AND INTERSECTION DETAIL PLAN SHT 5 OF 5 EXTERNAL WORKS	D										
P7081.C206	SETTLEMENT ROAD LONGITUDINAL SECTION - EXTERNAL WORKS	C										
P7081.C207	SETTLEMENT ROAD CROSS SECTIONS - EXTERNAL WORKS	C										
P7081.C208	SAMFORD ROAD (EASTERN) CROSS SECTIONS - EXTERNAL WORKS	D										
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P7081.C210	STORMWATER DRAINAGE LONGITUDINAL SECTIONS SHT 2 OF 2 - EXTERNAL WORKS	F										
P7081.C211	STORMWATER DRAINAGE CALCULATION SHT 1 OF 2 - EXTERNAL WORKS	D										
P7081.C212	STORMWATER DRAINAGE CALCULATION SHT 2 OF 2 - EXTERNAL WORKS	E										
P7081.C213	SETOUT COORDINATES AND LEVELS SHT 1 OF 2 - EXTERNAL WORKS	E										
P7081.C214	SETOUT COORDINATES AND LEVELS SHT 2 OF 2 - EXTERNAL WORKS	E										
P7081.C216	SAMFORD ROAD (WESTERN) CROSS SECTIONS - EXTERNAL WORKS	C										

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	A3											

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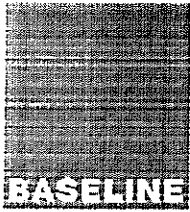
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DRG No.	TITLE	REVISION														
P7081.C240	SIGNS AND LINE MARKING PLAN SAMFORD ROAD SHT 1 OF 2	C														
P7081.C241	SIGNS AND LINE MARKING PLAN SAMFORD ROAD SHT 2 OF 2	D														
P7081.C242	SIGNS AND LINE MARKING PLAN SETTLEMENT ROAD SHT 1 OF 2	C														
P7081.C243	SIGNS AND LINE MARKING PLAN SETTLEMENT ROAD SHT 2 OF 2	C														
P7081. SEWASCON	GREAT WESTERN SUPERCENTRE AS CONSTRUCTED SEWERAGE - DETAIL PLAN AND OVERLAY															

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Email: mail@baselineconsulting.com.au

ON MAINTENANCE INSPECTION REPORT

Released under RTI - DTMR

South East Region - Metropolitan District

Transport Planning
Development Control

Approval

Metropolitan District
Issue Date: 1/09/2000

Maintenance Checklist for Development Roadworks

DC03F01

Send completed form to: **Engineer (Development Control)**
Floor 1
183 Wharf Street
Spring Hill Qld 4004

Note: After on maintenance inspection the Inspector shall send a copy to the Engineer.

After off maintenance inspection the Inspector shall send the original to the Engineer

Fax: (07) 3834 8363

Development Description: Keperra Great Western Supercentre

Address: Samford Road

Location: Corner of Samford/Settlement Roads, Keperra

On Maintenance Inspection:

Signed

Not Relevant

Date:

4-4-01

Item	Comments	Amended
1	Supply as-constructed drawings	
2	Supply M994 forms for installation of traffic control devices if applicable.	
3	Redo line marking. Remove old line marking.	
4	Clean up behind kerb & channel on the east bound lanes.	
5	Fix up kerb & median with concrete at trench crossings, also k&c on east bound lanes.	
6	Samford Mt Glorious Traffic sign in island at Settlement rd. Intersection has been damaged & needs fixing.	

Off Maintenance Recommendation

The works have been constructed in accordance with the approved drawings and all items listed above have been amended.

FORM M994

**DETAILS OF ERECTION AND REMOVAL OF
REGULATORY TRAFFIC SIGNS/DEVICES**

Released under RIA-DTMR

Details of Erection and Removal of Regulatory Traffic Signs/Devices



Date & Time of Erection: 4th DECEMBER 2000

Local Authority: BRISBANE CITY COUNCIL

Date & Time of Removal: _____

Highway/road: SANFORD ROAD

Duration (Roadworks): _____
Sign/Device details (ie M.U.T.C.D., No., Size, Etc.) _____

Job number: 830/367

Section: CNR SANFORD + SETTLEMENT RD, KEPPARA

Plan number: _____

Signature: Not Relevant for BRISBANE COUNCILING PTY LTD.

Sketch or description of location:

Reason sign/device required: REDEVELOPMENT OF SITE
NEW SHOPPING CENTRE DEVELOPMENT.

On the gridded area below please sketch or describe the location of the sign/device. Include distances from street or road junction, bridge or other identifiable point to sign location or to extremities of roadworks. Attach plan if space is insufficient.

NEW SIGNS AND LINEMARKING AS PER ATTACHED							
PLANS. P7081.C240 REV C							
P7081.C241 REV D							
P7081.C242 REV C							
P7081.C243 REV C.							
IN ACCORDANCE WITH THE APPROVAL CONDITIONS							

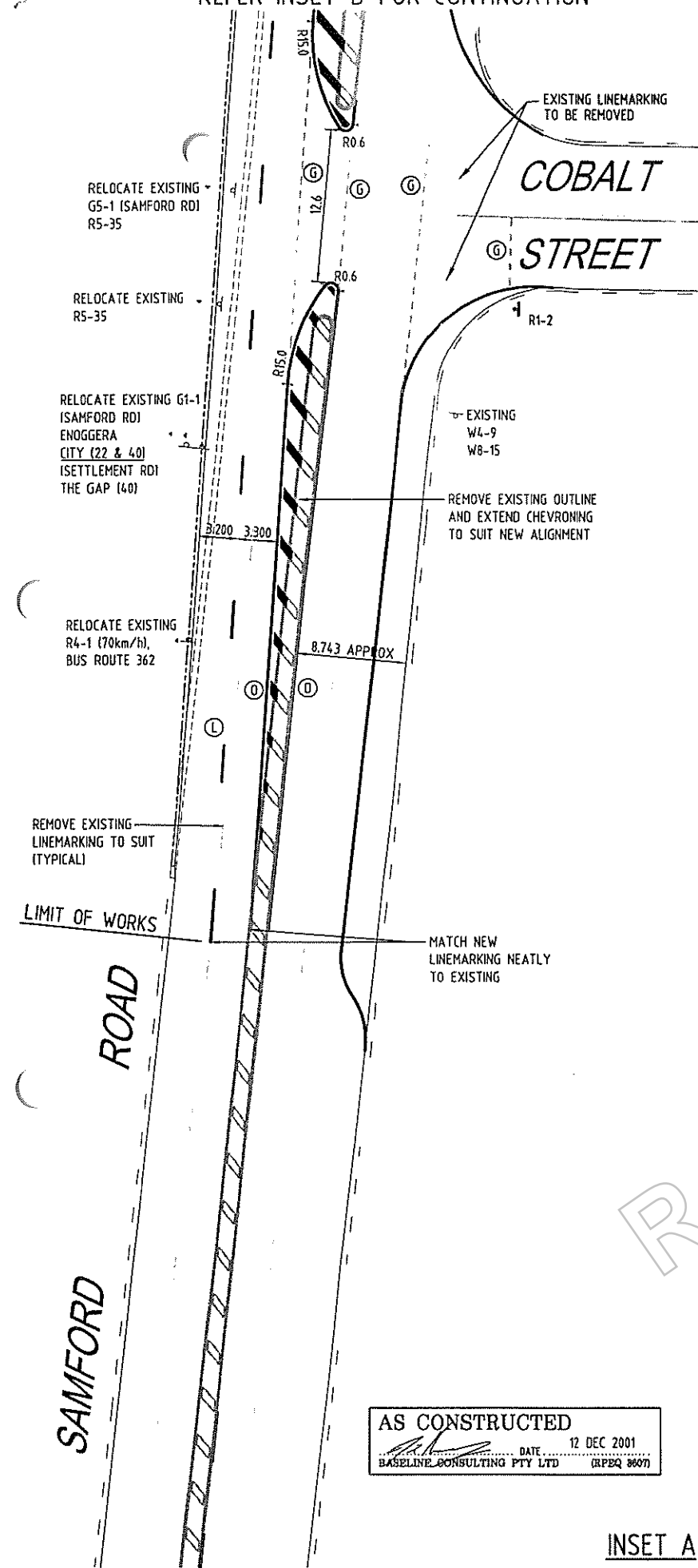
Erection Recommended: _____ / / _____ Removal Recommended: _____ / / _____

Approved: _____ / / _____ Delegate of the Director-General
Approved: _____ / / _____ Delegate of the Director-General

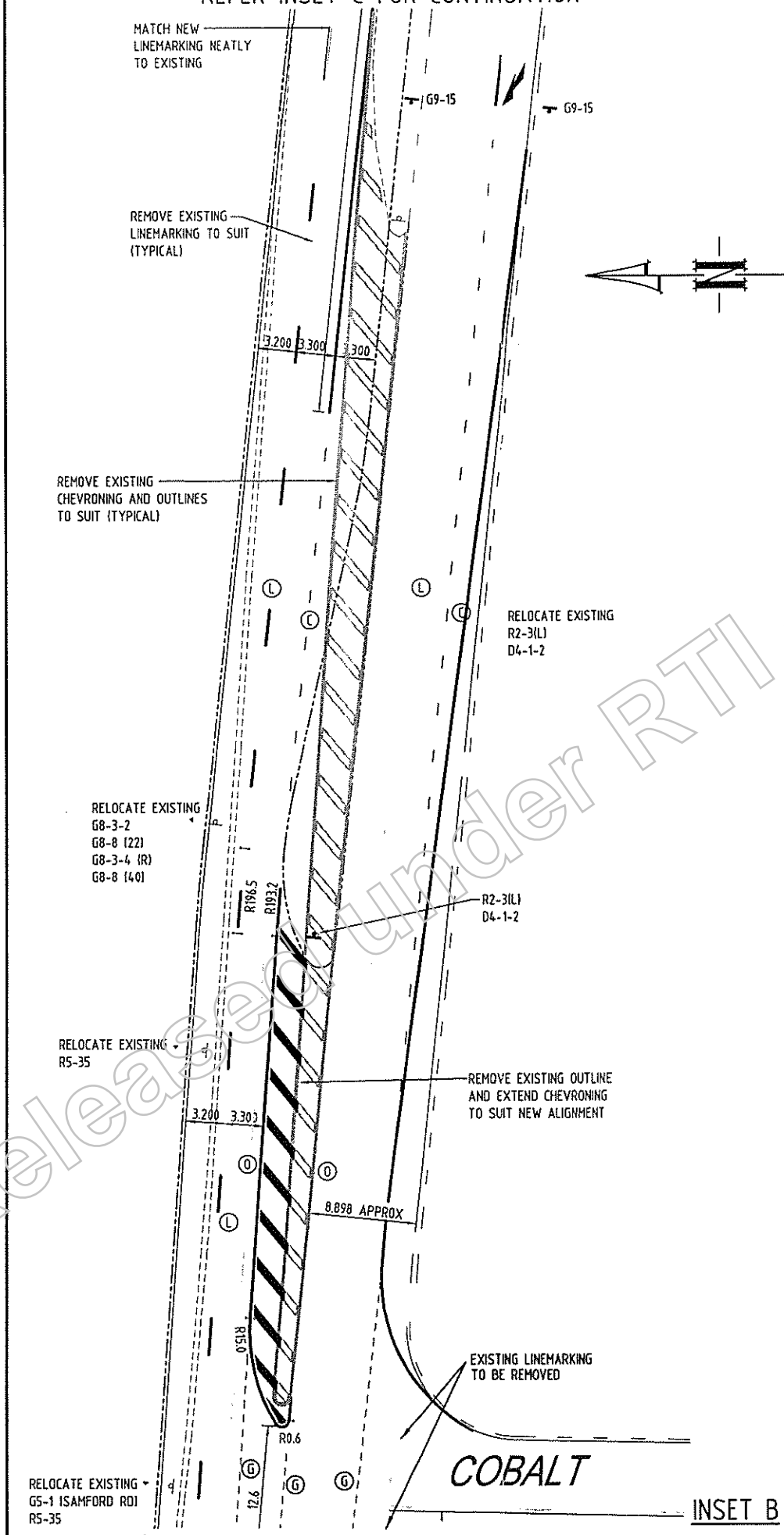
REFER INSET B FOR CONTINUATION

REFER INSET C FOR CONTINUATION

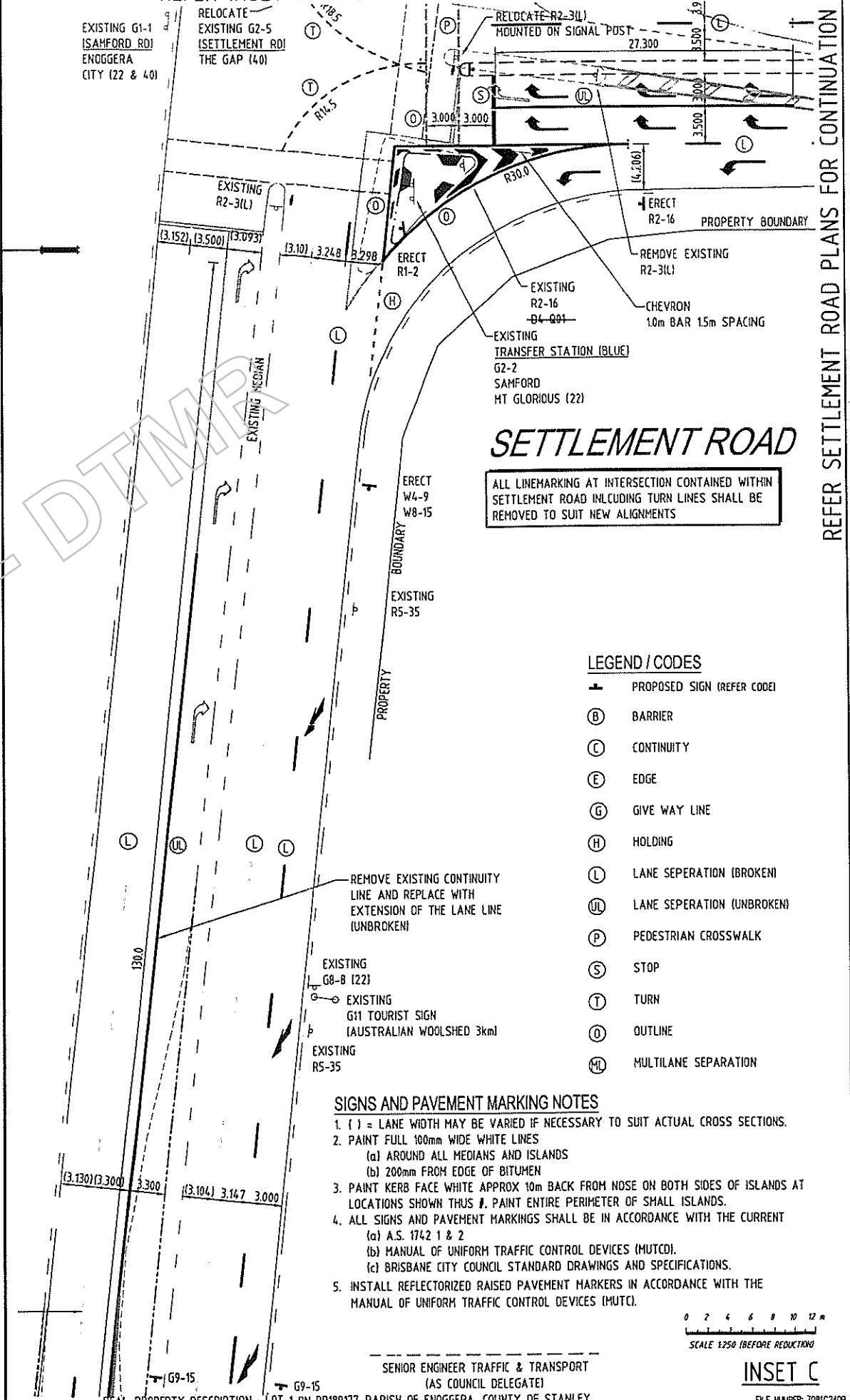
REFER INSET D ON DRG P7081.C241 FOR CONTINUATION



INSET A



INSET B



INSET C

AS CONSTRUCTED
 DATE: 12 DEC 2001
 BASELINE CONSULTING PTY LTD (RPEQ 3607)

SETTLEMENT ROAD
 ALL LINEMARKING AT INTERSECTION CONTAINED WITHIN SETTLEMENT ROAD INCLUDING TURN LINES SHALL BE REMOVED TO SUIT NEW ALIGNMENTS

- LEGEND / CODES**
- PROPOSED SIGN (REFER CODE)
 - (B) BARRIER
 - (C) CONTINUITY
 - (E) EDGE
 - (G) GIVE WAY LINE
 - (H) HOLDING
 - (L) LANE SEPERATION (BROKEN)
 - (UL) LANE SEPERATION (UNBROKEN)
 - (P) PEDESTRIAN CROSSWALK
 - (S) STOP
 - (T) TURN
 - (D) OUTLINE
 - (ML) MULTILANE SEPERATION

- SIGNS AND PAVEMENT MARKING NOTES**
1. () = LANE WIDTH MAY BE VARIED IF NECESSARY TO SUIT ACTUAL CROSS SECTIONS.
 2. PAINT FULL 100mm WIDE WHITE LINES
 - (a) AROUND ALL MEDIANS AND ISLANDS
 - (b) 200mm FROM EDGE OF BITUMEN
 3. PAINT KERB FACE WHITE APPROX 10m BACK FROM NOSE ON BOTH SIDES OF ISLANDS AT LOCATIONS SHOWN THUS #. PAINT ENTIRE PERIMETER OF SMALL ISLANDS.
 4. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE CURRENT
 - (a) A.S. 1742.1 & 2
 - (b) MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - (c) BRISBANE CITY COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS.
 5. INSTALL REFLECTORIZED RAISED PAVEMENT MARKERS IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTC).

0 2 4 6 8 10 12 m
 SCALE 1:250 (BEFORE REDUCTION)

No.	REVISION	DATE	DRAWN
C	AS CONSTRUCTED	04/10/01	VC
B	AMENDED TO SUIT BCC TRAFFIC SIGNALISATION DETAILS	15/3/00	TPE
A	ISSUED FOR MAIN ROADS AND COUNCIL APPROVAL	3/2/00	TPE

APPROVED: [Signature] (RPEQ 3607) FOR AND ON BEHALF OF
BASELINE CONSULTING PTY LTD
 Development Consultants and Engineers
 A.C.N. 007 243 314
 96 Victoria Street, West End Q 4101 PO Box 3835 South Brisbane Q 4101
 Facsimile (07) 3844 7588 Telephone (07) 3844 5900 Email: baseline@powerup.com.au
 Registered Professional Engineering Unit of Queensland Registration No. 2041

IAS-ANZ
 QUALITY ASSURED COMPANY
 AS/NZS 190:2001/1994 REG. NO. 136

SCALE AS SHOWN
 DRAWN TPE
 CHECKED SJK
 DESIGNED TPE
 DATE FEB 00

indigo projects

CLIENT: SENIOR ENGINEER TRAFFIC & TRANSPORT (AS COUNCIL DELEGATE)
 REAL PROPERTY DESCRIPTION: LOT 1 ON RP189177 PARISH OF ENOGGERA, COUNTY OF STANLEY

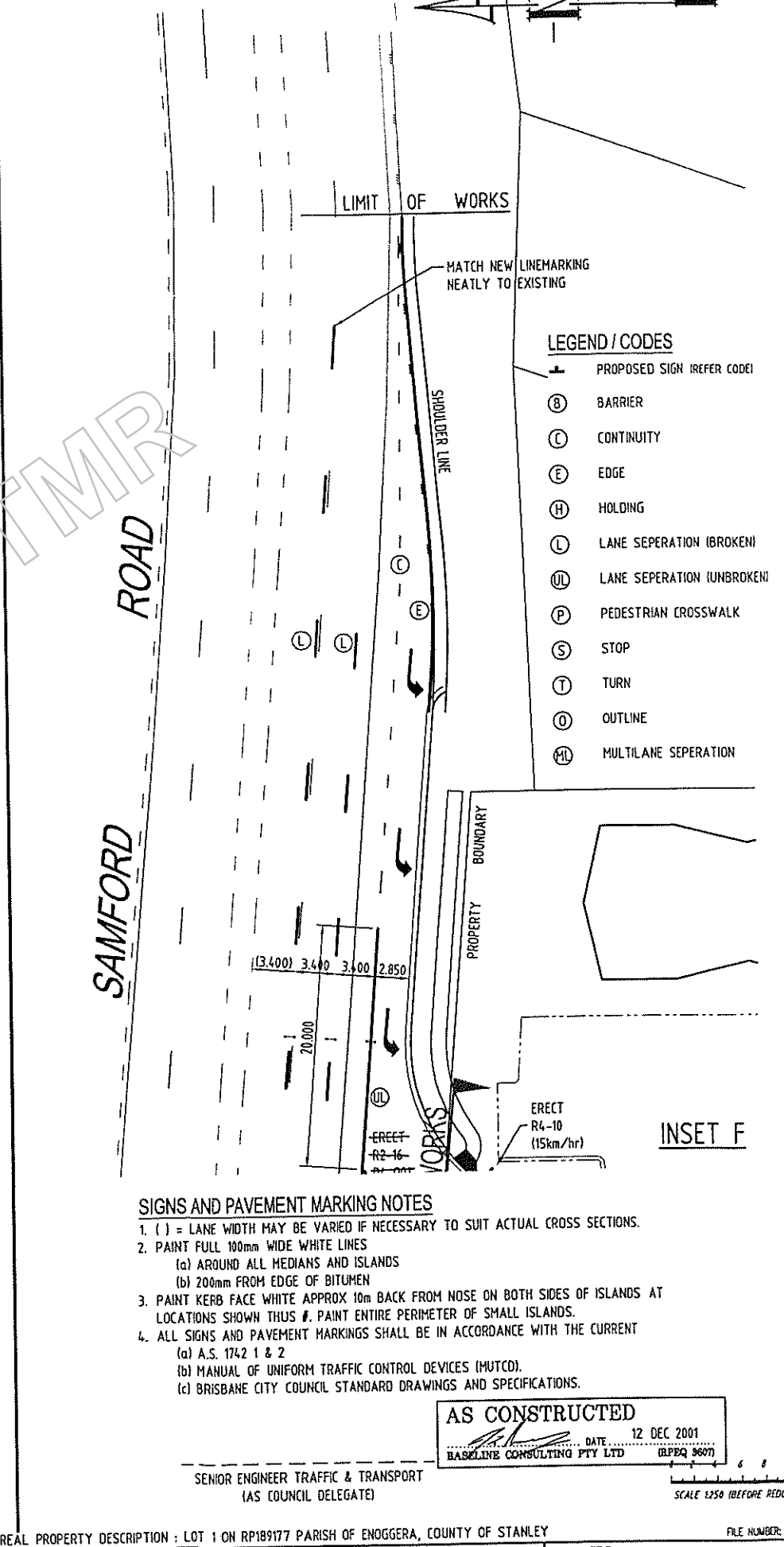
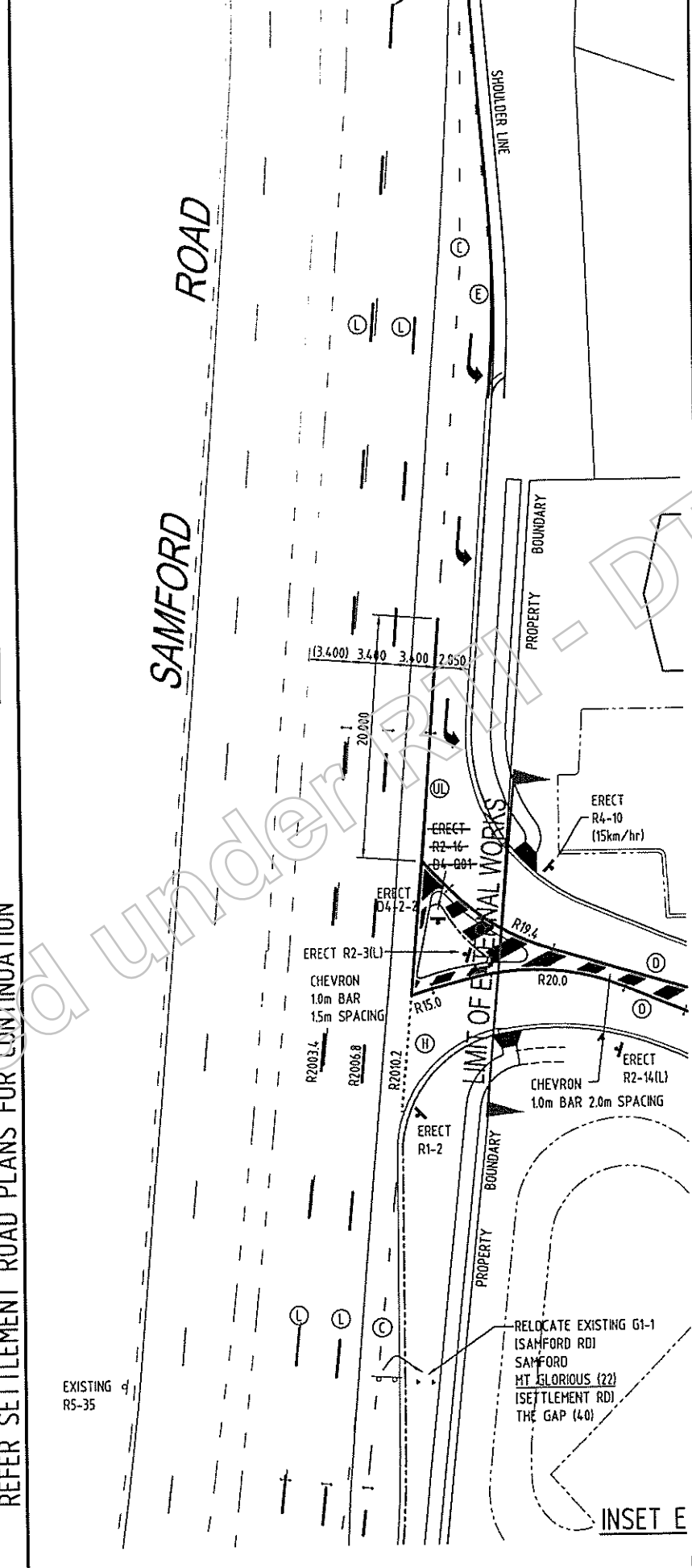
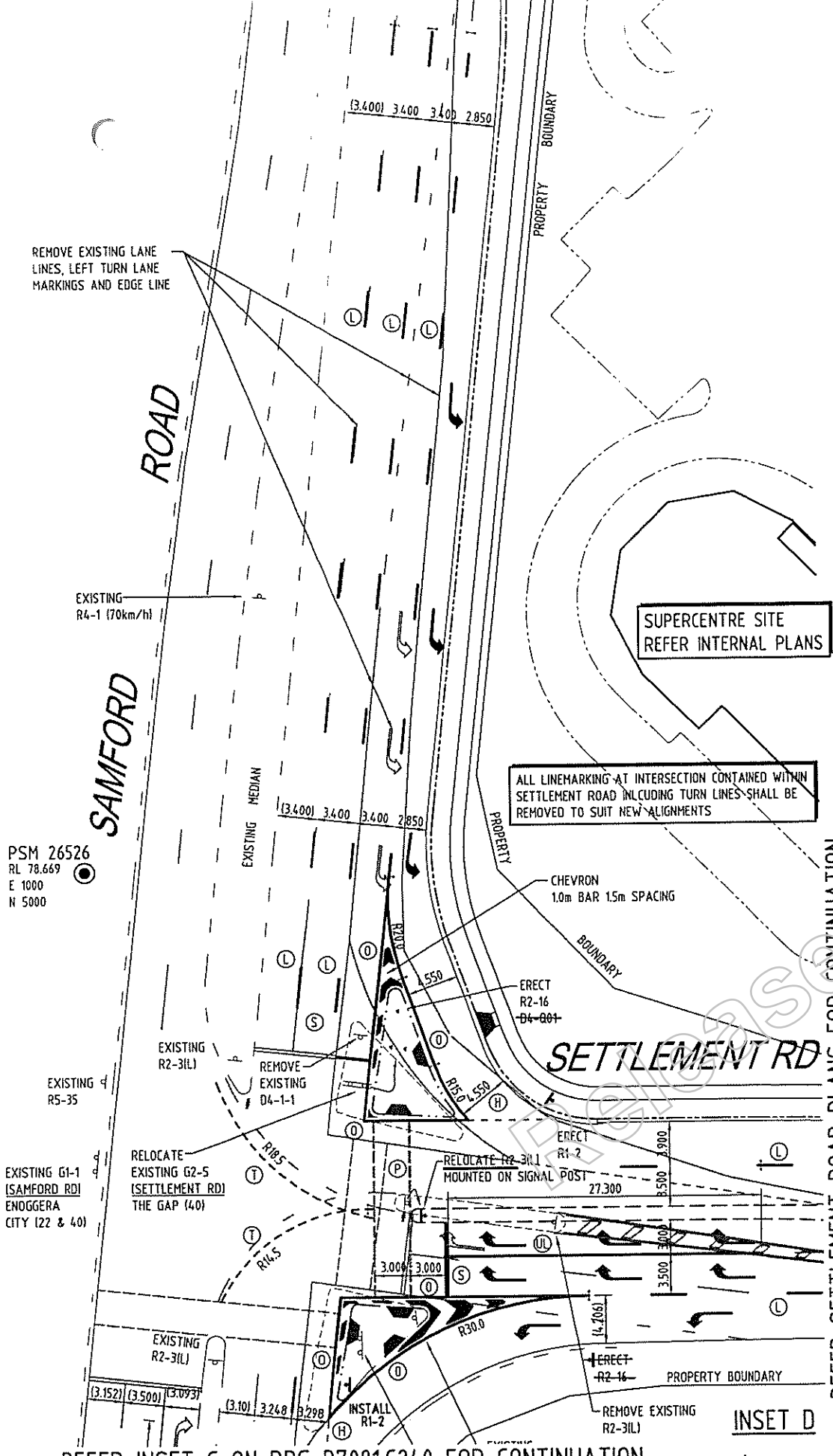
JOB DESCRIPTION: **KEPERRA GREAT WESTERN SUPERCENTRE SAMFORD & SETTLEMENT ROADS, KEPERRA**

DRAWING TITLE: **SIGNS and LINE MARKING PLAN SAMFORD ROAD SHT 1 of 2 - EXTERNAL WORKS**

DRAWING NO. P7081.C240 REV. XC

REFER INSET E FOR CONTINUATION

REFER INSET F FOR CONTINUATION



LEGEND / CODES

- (+) PROPOSED SIGN (REFER CODE)
- (B) BARRIER
- (C) CONTINUITY
- (E) EDGE
- (H) HOLDING
- (L) LANE SEPARATION (BROKEN)
- (UL) LANE SEPARATION (UNBROKEN)
- (P) PEDESTRIAN CROSSWALK
- (S) STOP
- (T) TURN
- (O) OUTLINE
- (ML) MULTILANE SEPARATION

- SIGNS AND PAVEMENT MARKING NOTES**
- () = LANE WIDTH MAY BE VARIED IF NECESSARY TO SUIT ACTUAL CROSS SECTIONS.
 - PAINT FULL 100mm WIDE WHITE LINES
 - (a) AROUND ALL MEDIANS AND ISLANDS
 - (b) 200mm FROM EDGE OF BITUMEN
 - PAINT KERB FACE WHITE APPROX 10m BACK FROM NOSE ON BOTH SIDES OF ISLANDS AT LOCATIONS SHOWN THUS #. PAINT ENTIRE PERIMETER OF SMALL ISLANDS.
 - ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE CURRENT
 - (a) A.S. 1742 1 & 2
 - (b) MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - (c) BRISBANE CITY COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS.

AS CONSTRUCTED
 DATE 12 DEC 2001
 BASELINE CONSULTING PTY LTD (BPCA 9607)

SENIOR ENGINEER TRAFFIC & TRANSPORT
 (AS COUNCIL DELEGATE)

SCALE 1:250 (BEFORE REDUCTION)

REAL PROPERTY DESCRIPTION : LOT 1 ON RP189177 PARISH OF ENOGGERA, COUNTY OF STANLEY FILE NUMBER: 7081C241

No.	REVISION	DATE	DRAWN
D	AS CONSTRUCTED	04/10/01	VC
C	ENTRY FROM SAMFORD RD (WPD REQUIREMENTS)	22/3/00	TPE
B	AMENDED TO SUIT BCC TRAFFIC SIGNALISATION DETAILS	15/3/00	TPE
A	ISSUED FOR MAIN ROADS AND COUNCIL APPROVAL	3/2/00	TPE

AJS SURVEYS PTY LTD
 ACN 087 875 147
 CONSULTING SURVEYOR
 100/100 SOUTH BRISBANE QLD 4001
 PHONE: (07) 3844 7588 FAX: (07) 3844 7589
 EMAIL: ajs@ajs.com.au

APPROVED: [Signature] (RPEQ 9607) FOR AND ON BEHALF OF
BASELINE CONSULTING PTY LTD
 Development Consultants and Engineers
 ACN 067 148 314
 96 Victoria Street, West End Q 4101 PO Box 3635 South Brisbane Q 4101
 Facsimile (07) 3844 7588 Telephone (07) 3844 5000 Email: baseline@powerup.com.au
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 AS/NZS ISO 9001:1994 REGD NO. 136

SCALE	AS SHOWN	CLIENT
DRAWN	TPE	indigo projects
CHECKED	SK	
DESIGNED	TPE	
DATE	FEB 00	

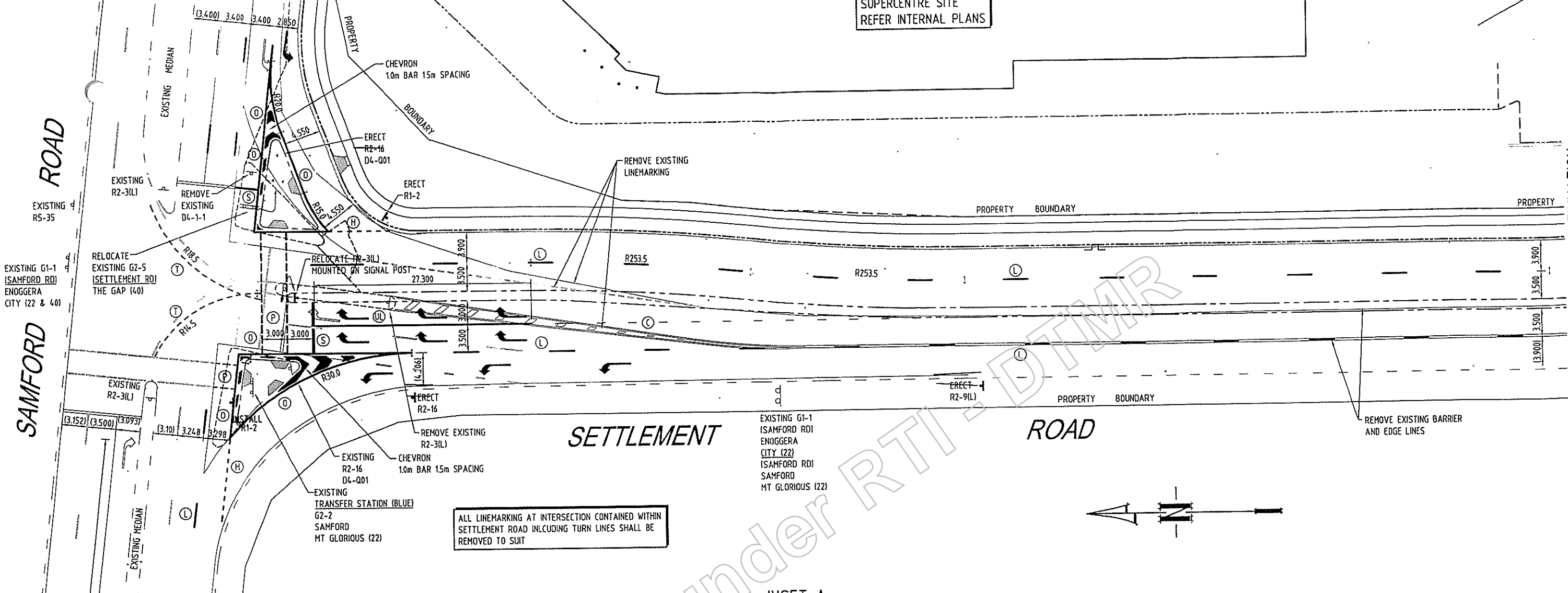
indigo projects

KEPERRA GREAT WESTERN SAMFORD & SETTLEMENT ROADS, KEPERRA

SIGNS and LINE MARKING PLAN SAMFORD ROAD SHT 2 of 2 - EXTERNAL WORKS
 DRAWING NO. P7081.C241 REV. X

REFER SAMFORD ROAD PLANS FOR CONTINUATION

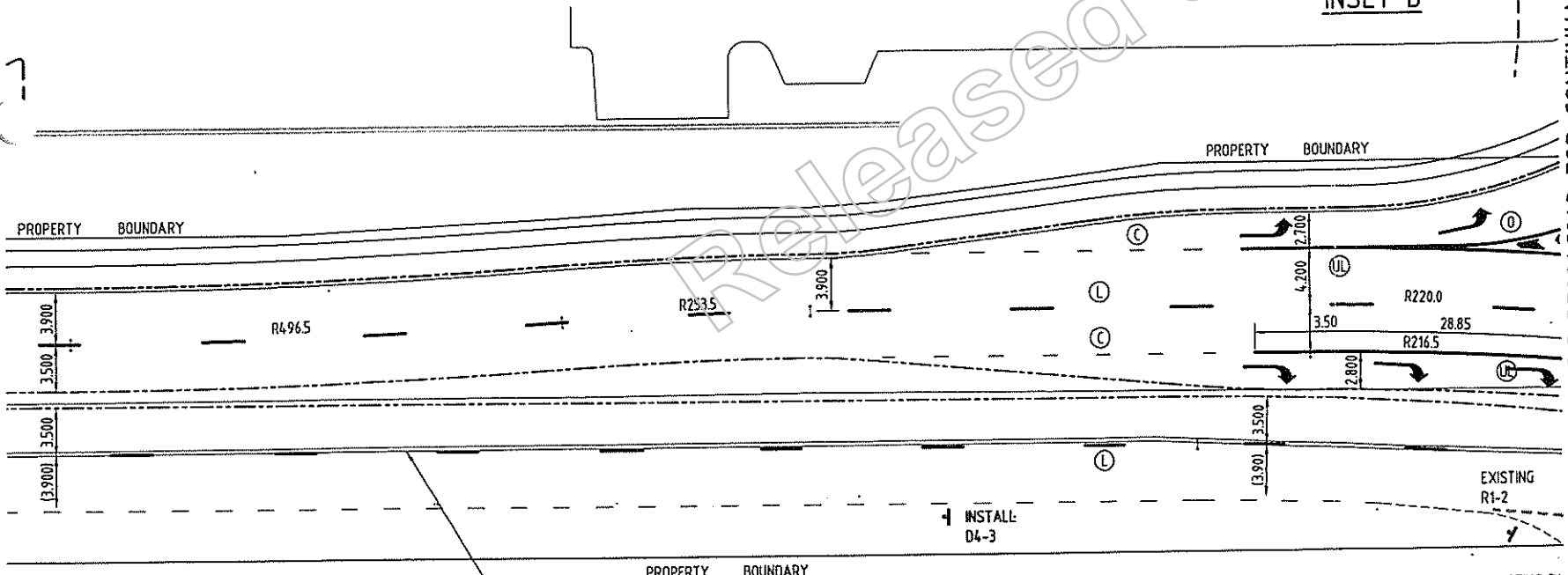
SUPERCENTRE SITE
REFER INTERNAL PLANS



ALL LINEMARKING AT INTERSECTION CONTAINED WITHIN SETTLEMENT ROAD INCLUDING TURN LINES SHALL BE REMOVED TO SUIT

REFER SAMFORD ROAD PLANS FOR CONTINUATION

INSET A
INSET B



LEGEND / CODES

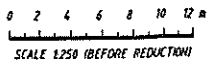
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- (B) BARRIER
- (C) CONTINUITY
- (E) EDGE
- (H) HOLDING
- (L) LANE SEPERATION (BROKEN)
- (UL) LANE SEPERATION (UNBROKEN)
- (P) PEDESTRIAN CROSSWALK
- (S) STOP
- (T) TURN
- (O) OUTLINE
- (ML) MULTILANE SEPERATION

SIGNS AND PAVEMENT MARKING NOTES

1. () = LANE WIDTH MAY BE VARIED IF NECESSARY TO SUIT ACTUAL CROSS SECTIONS.
2. PAINT FULL 100mm WIDE WHITE LINES
 - (a) AROUND ALL MEDIANS AND ISLANDS
 - (b) 200mm FROM EDGE OF BITUMEN
3. PAINT KERB FACE WHITE APPROX 10m BACK FROM NOSE ON BOTH SIDES OF ISLANDS AT LOCATIONS SHOWN THUS #. PAINT ENTIRE PERIMETER OF SHALL ISLANDS.
4. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE CURRENT
 - (a) A.S. 1742 1 & 2
 - (b) MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - (c) BRISBANE CITY COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS.

SENIOR ENGINEER TRAFFIC & TRANSPORT
(AS COUNCIL DELEGATE)

AS CONSTRUCTED
DATE 12 DEC 2001
BASELINE CONSULTING PTY LTD (ORPEQ 8607)



REAL PROPERTY DESCRIPTION : LOT 1 ON RP189177 PARISH OF ENOGGERA, COUNTY OF STANLEY FILE NUMBER: 7081C242

No.	REVISION	DATE	DRAWN
C	AS CONSTRUCTED	05/10/01	VC
B	AMENDED TO SUIT BCC TRAFFIC SIGNALISATION DETAILS	7/3/00	TPE
A	ISSUED FOR MAIN ROADS AND COUNCIL APPROVAL	3/2/00	TPE

AJS SURVEYS PTY LTD
ACN 067 875 147
CONSULTING SURVEYOR

BASELINE

APPROVED [Signature] (ORPEQ 8607) FOR AND ON BEHALF OF
BASELINE CONSULTING PTY LTD
Development Consultants and Engineers
A.C.N. 067 243 314
PO Box 3635 South Brisbane Q 4101
96 Victoria Street, West End Q 4101
Facsimile (07) 3844 7588 Telephone (07) 3844 5900 Email: baseline@powerup.com.au
Registered Professional Engineering Unit of Queensland Registration No. 2041

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QUALITY ASSURED COMPANY
AS/NZS ISO 9001:1994 REG. NO. 136

SCALE	AS SHOWN	CLIENT
DRAWN	TPE	indigo projects
CHECKED	SK	
DESIGNED	TPE	
DATE	FEB 00	

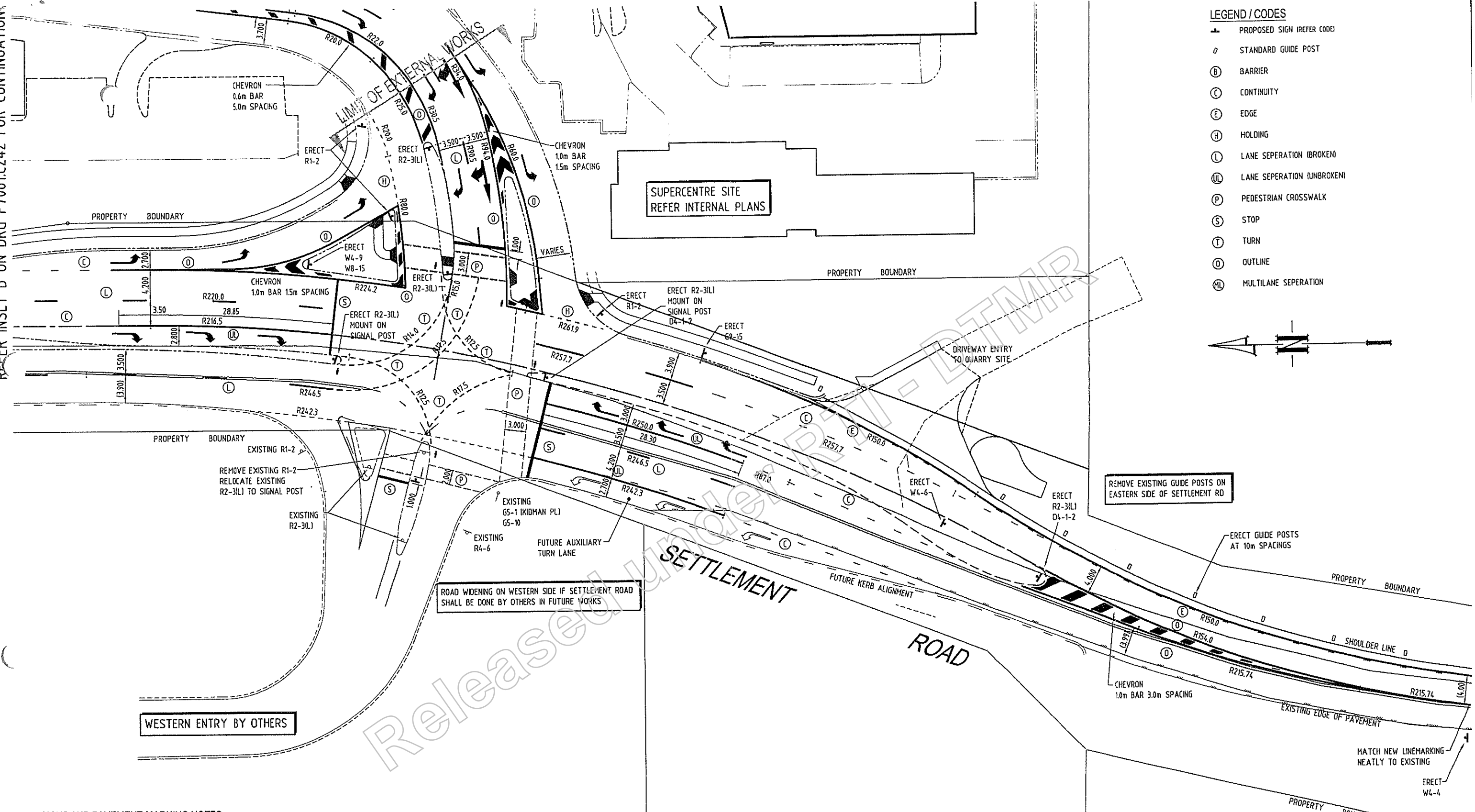
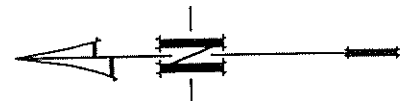
indigo projects

JOB DESCRIPTION
KEPERRA GREAT WESTERN SETTLEMENT ROAD SHT 1 of 2 - EXTERNAL WORKS

DRAWING TITLE
SIGNS and LINE MARKING PLAN SETTLEMENT ROAD SHT 1 of 2 - EXTERNAL WORKS
DRAWING NO. **P7081C242** REV. **X**

REFER INSET B ON DRG P7081.C242 FOR CONTINUATION

- LEGEND / CODES**
- ▲ PROPOSED SIGN (REFER CODE)
 - STANDARD GUIDE POST
 - ⊖ BARRIER
 - ⊕ CONTINUITY
 - ⊘ EDGE
 - ⊙ HOLDING
 - ⊚ LANE SEPERATION (BROKEN)
 - ⊛ LANE SEPERATION (UNBROKEN)
 - ⊜ PEDESTRIAN CROSSWALK
 - ⊝ STOP
 - ⊞ TURN
 - ⊟ OUTLINE
 - ⊠ MULTILANE SEPERATION



WESTERN ENTRY BY OTHERS

ROAD WIDENING ON WESTERN SIDE IF SETTLEMENT ROAD SHALL BE DONE BY OTHERS IN FUTURE WORKS

REMOVE EXISTING GUIDE POSTS ON EASTERN SIDE OF SETTLEMENT RD

- SIGNS AND PAVEMENT MARKING NOTES**
- () = LANE WIDTH MAY BE VARIED IF NECESSARY TO SUIT ACTUAL CROSS SECTIONS.
 - PAINT FULL 100mm WIDE WHITE LINES
 - (a) AROUND ALL MEDIANS AND ISLANDS
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 - (c) BRISBANE CITY COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS.

AS CONSTRUCTED
DATE 12 DEC 2001
BASELINE CONSULTING PTY LTD (RPBQ 9607)

SENIOR ENGINEER TRAFFIC & TRANSPORT
(AS COUNCIL DELEGATE)

SCALE 1:250 (BEFORE REDUCTION)
FILE NUMBER: 7081C2

REAL PROPERTY DESCRIPTION : LOT 1 ON RP189177 PARISH OF ENOGGERA, COUNTY OF STANLEY

No.	REVISION	DATE	DRAWN
C	AS CONSTRUCTED	05/10/01	VC
B	AMENDED TO SUIT BCC TRAFFIC SIGNALISATION DETAILS	7/3/00	TPE
A	ISSUED FOR MAIN ROADS AND COUNCIL APPROVAL	3/2/00	TPE

AJS SURVEYS PTY LTD
AJS 087 875 147
CONSULTING SURVEYOR

APPROVED... (RPBQ 9607) FOR AND ON BEHALF OF
BASELINE CONSULTING PTY LTD
Development Consultants and Engineers
A.C.N. 067 243 314
96 Victoria Street, West End Q 4101
Facsimile (07) 3844 7588 Telephone (07) 3844 5900 Email: baseline@powerup.com.au
Registered Professional Engineering Unit of Queensland

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AS/NZS 190 9001:1994 REG. NO. 436

SCALE	AS SHOWN	CLIENT
DRAWN	TPE	indigo projects
CHECKED	SJK	
DESIGNED	TPE	
DATE	FEB 00	

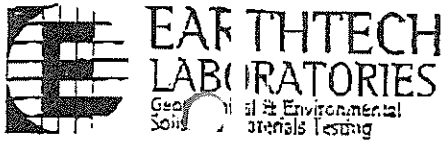
indigo projects

JOB DESCRIPTION
KEPERRA GREAT WESTERN SETTLEMENT ROADS SHT 2 of 2 - EXTERNAL WORKS

DRAWING TITLE
SIGNS and LINE MARKING PLAN SETTLEMENT ROAD SHT 2 of 2 - EXTERNAL WORKS
DRAWING NO. P7081.C243

ROADWORKS AND PAVEMENT TEST RESULTS

Released under RTI - DTMR

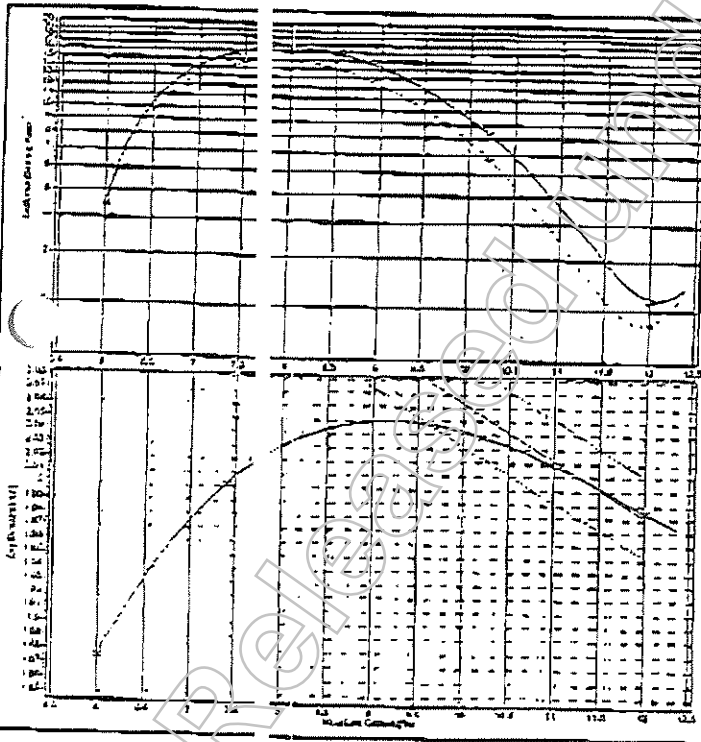


EARTHTECH CONSULTANTS (QLD) Pty Ltd
 1/51 Secam Street, Mansfield Qld
 P.O. Box 2034 Mansfield DC Qld 4122
 Phone: (07) 3343 3166 Fax: (07) 3849 4705
 Email: laboratories@earthtech.com.au
 Website: www.earthtech.com.au
 NATA 1446
 ACN 010 326 561

138
 Inv 106

California Bearing Ratio(5 Point) Report

Client: Lynn Civil Pty Ltd	Report Number: MB1639 - 6
Job Number: MB1639	Report Date: 31/10/2000
Project: Covertop Carpark	Order Number:
Location: Corner Settlement & Samford Roads, The Gap	Test Method: Q113A
Lab No: F1391/00	Senders No:
Date Sampled/Submitted: 27/10/2000	Sample Location
Date Tested: 31/10/2000	Road: Samford Road
Sampled By: SI	CH: 1015
Sample Method: A13798	OS:
Material Source: In situ	RL: 0.4m below FL
For Use As: Subgrade	Lot Number:
Remarks:	Item Number:



Initial MC (%)	Dry Density (t/m ³)	Bearing Ratio 2.5mm (%)	Bearing Ratio 5.0mm (%)	Swell (%)	Final MC (%)
6.0	1.876	4.5	4.5	1.3	11.3
7.4	2.002	14.4	15.8	1.3	12.1
10.2	2.039	6.8	8.4	0.0	11.8
12.0	1.985	1.8	2.2	-0.3	13.1
Compactive Effort		Standard			
Test Condition		Soaked			
CBR MDD (t/m ³)		2.05			
CBR OMC (%)		9.2			
CBR 2.5mm (%)		12.0			
CBR 5.0mm (%)		13.0			
CBR Value (%)		13.0			
Min Specified CBR (%)					

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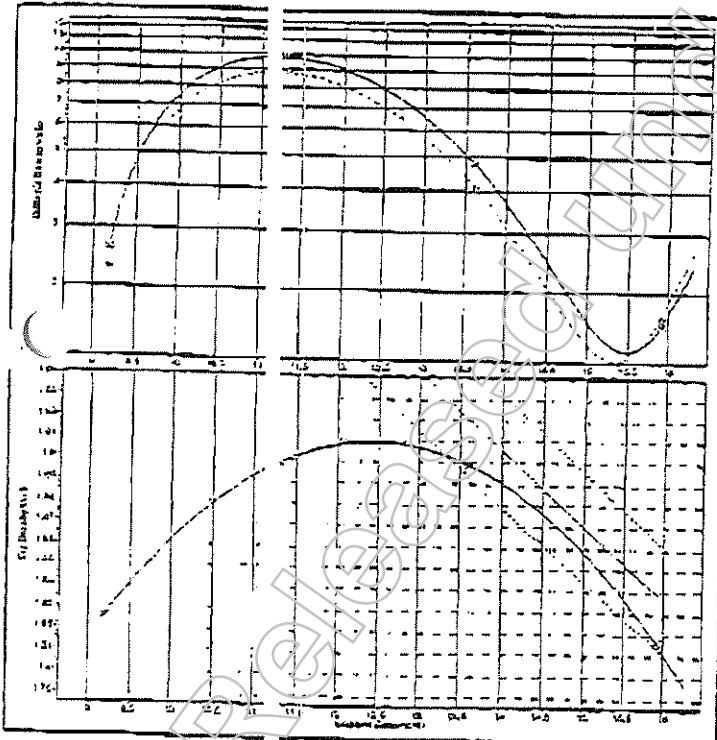


EARTHTECH CONSULTANTS (QLD) Pty Ltd
 1/51 Secam Street, Mansfield Qld
 P.O. Box 2034 Mansfield DC Qld 4122
 Phone: (07) 3343 3166 Fax: (07) 3849 4705
 Email: laboratories@earthtech.com.au
 Website: www.earthtech.com.au
 NATA 1446
 ACN 010 826 561

Inv 106¹³⁸

California Bearing Ratio(5 Point) Report

Client: Lynn Civil Pty Ltd	Report Number: MB1639 - 6
Job Number: MB163	Report Date: 31/10/2000
Project: Covercorp, Carpark	Order Number:
Location: Corner Settlement & Samford Roads, The Gap	Test Method: Q113A
Lab No: F2 092/00	Senders No:
Date Sampled/Submitted: 27/10/2000	Sample Location
Tested: 31/10/2000	Road: Samford Road and Entrance Rd
Sampled By: ST	CH: At Intersection Point
Sample Method: AS 3798	OS:
Material Source: In situ	RL: 0.4m below FL
For Use As: Subgrade	Lot Number:
Remarks:	Item Number:



Initial MC (%)	Dry Density (t/m³)	Bearing Ratio 2.5mm (%)	Bearing Ratio 5.0mm (%)	Swell (%)	Final MC (%)
9.2	1.826	2.3	2.6	3.2	0.0
11.3	1.899	3.8	9.8	1.5	0.0
13.6	1.899	4.1	4.8	0.5	0.0
15.9	1.817	1.7	1.6	0.3	0.0

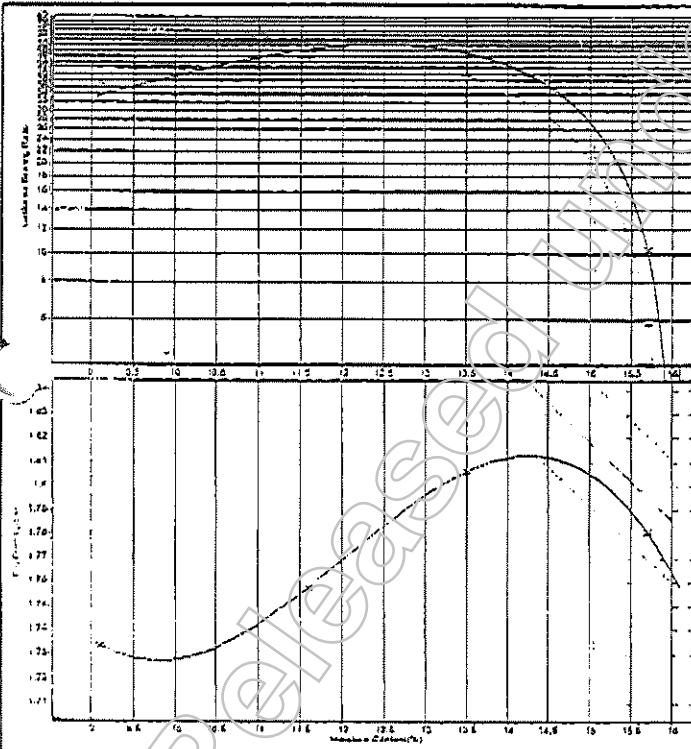
Compactive Effort	Standard
Test Condition	Soaked
CBR MDD (t/m³)	1.91
CBR OMC (%)	12.4
CBR 2.5mm (%)	7.0
CBR 5.0mm (%)	8.0
CBR Value (%)	8.0
Min Specified CBR (%)	

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California Bearing Ratio(5 Point) Report

Client : Lynn Civil Pty Ltd	Report Number : MB1639 - 7
Job Number : MB1639	Report Date : 14/11/2000
Project : Covecorp, Carpark	Order Number :
Location : Corner Settlement & Samford Roads, The Gap	Test Method : Q113A
Lab No: F2133/00	Senders No :
Date Sampled/Submitted : 07/11/2000	Sample Location Road: Samford (NW)
Date Tested: 13/11/2000	CH: 66
Sampled By: RP	OS:
Sample Method: AS3798	RL: 0.4m below FL
Material Source: On Site Material	Lot Number :
For Use As: Subgrade	Item Number :
Remarks:	



Initial MC (%)	Dry Density (t/m ³)	Bearing Ratio 2.5mm (%)	Bearing Ratio 5.0mm (%)	Swell (%)	Final MC (%)
9.1	1.734	36.9	34.0	0.3	14.9
11.6	1.758	45.3	48.3	0.2	14.3
13.5	1.806	39.5	47.0	0.1	15.8
15.7	1.781	5.8	10.3	0.0	16.2

Compactive Effort	Standard
Test Condition	Soaked
CBR MDD (t/m ³)	1.81
CBR OMC (%)	14.4
CBR 2.5mm (%)	30.0
CBR 5.0mm (%)	38.0
CBR Value (%)	38.0
Min Specified CBR (%)	



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APPROVED SIGNATORY

Not Relevant

Nata Accred. No: 1446

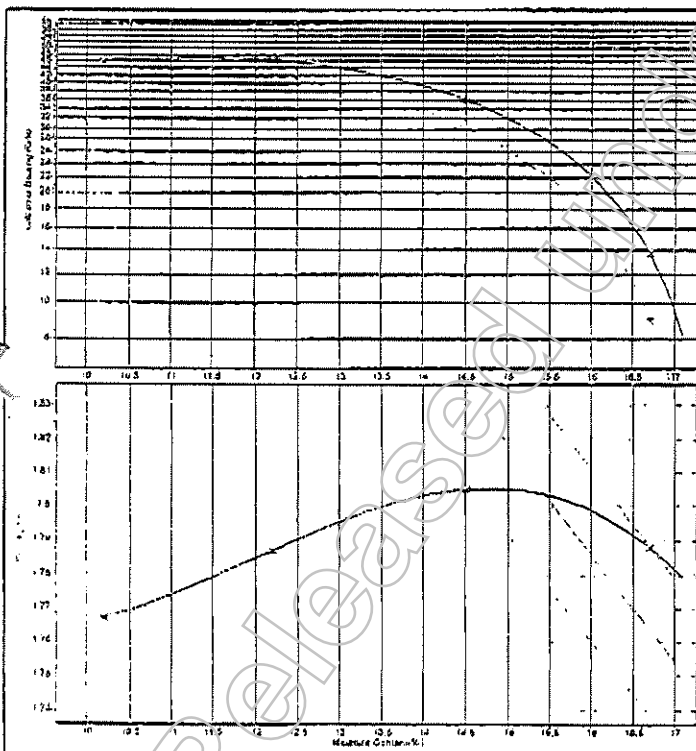
Form Number:

REP CBR5-1

California Bearing Ratio(5 Point) Report

Client : Lynn Civil Pty Ltd Job Number : MB1639 Project : Covocorp, Carpark Location : Corner Settlement & Samford Roads, The Gap	Report Number : MB1639 - 7 Report Date : 14/11/2000 Order Number : Test Method : Q113A
Lab No.: F2134/00 Senders No.: Date Sampled/Submitted : 07/11/2000 Date Tested: 13/11/2000 Sampled By: RP Sample Method: AS3798 Material Source: On Site Material For Use As: Subgrade Remarks:	Sample Location Road: Samford (NW) CH: 123 OS: RL: 0.4m below FL Lot Number : Item Number :

Page 2 of 2



Initial MC (%)	Dry Density (t/m ³)	Bearing Ratio 2.5mm (%)	Bearing Ratio 5.0mm (%)	Swell (%)	Final MC (%)
10.2	1.767	46.1	45.8	0.0	14.8
12.2	1.787	42.0	46.2	0.0	13.8
14.5	1.805	30.1	36.0	0.0	14.8
16.7	1.788	9.1	13.7	-0.4	16.4

Compactive Effort	Standard
Test Condition	Soaked
CBR MDD (t/m³)	1.81
CBR OMC (%)	14.8
CBR 2.5mm (%)	28.0
CBR 5.0mm (%)	34.0
CBR Value (%)	34.0
Min Specified CBR (%)	



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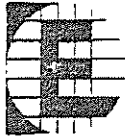
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Form Number:

REP CBR5-1



**EARTHTECH
LABORATORIES**
Geotechnical & Environmental
Soils and Materials Testing

3219 7511

EARTHTECH CONSULTANTS (QLD) Pty Ltd
NATA 1446
ACN 010 826 561
1/51 Secam Street, Mansfield Qld
P.O. Box 2034 Mansfield DC Qld 4122
Phone: (07) 3343 3166 Fax: (07) 3849 4705
Email: laboratories@earthtech.com.au
Website: www.earthtech.com.au

Inv 106228

Dry Density Ratio Report

Client : Lynn Civil Pty Ltd	Report Number: MB1639 - 11
Job Number : MB163	Report Date: 05/12/2000
Project : Cover Corp, Carpark	Order Number:
Location : Corner Settlement & Samford Roads, The Gap	Test Method: Q111C & Q111A

Page 1 of 1

Lab No	F2203/00	F2204/00	F2205/00	F2206/00
Lot No :	27	28	29	30
Item No :				
Date Tested :	04/12/2000	04/12/2000	04/12/2000	04/12/2000
Material Source :	Keperra Quarry	Keperra Quarry	Keperra Quarry	Keperra Quarry
For Use As :	Base	Sub Base	Base	Sub Base
Sample Location :	Road: Samford Road CH: 55 OS: RL:	Road: Samford Road CH: 55 OS: RL:	Road: Samford Road CH: 101 OS: RL:	Samford Road 101
Test Depth (mm) :	150 / 150	150 / 200	150 / 150	150 / 200
Maximum Size (mm) :	19.0	19.0	19.0	19.0
Oversize (%) :	-	-	-	-
Density Oversize (t/m ³) :	-	-	-	-
Field Dry Density (t/m ³) :	2.184	2.199	2.196	2.198
Field Moisture (%) :	2.6	2.5	2.5	2.8
MDR No :	F2203/00	F2204/00	F2205/00	F2206/00
Assigned MDR :	No	No	No	No
Max Dry Density (t/m ³) :	2.132	2.130	2.122	2.116
Opt Moisture Cont. (%) :	9.3	7.9	8.5	9.4
Adjusted MDD (t/m ³) :	2.132	2.130	2.122	2.116
MDR Date :	4/12/00	4/12/00	4/12/00	4/12/00
Compactive Effort:	Standard	Standard	Standard	Standard
Dry Density Ratio (%) :	102.4	103.2	103.5	103.8
Min Dry Dens Ratio (%) :	100	100	100	100
Remarks :				



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Form Number:

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Accreditation Number: 1169

Brisbane
Unit 1, 235 Monier Road
Darra Qld 4076
PO Box 3063
Darra Qld 4076
Telephone (07) 3279 0900
Fax (07) 3279 0955
Email soilsurv@gil.com.au

Gold Coast
Unit 5, 36 Lawrence Drive
Nerang Qld 4211
PO Box 2011
Nerang Qld 4211
Telephone (07) 5596 1599
Fax (07) 5527 2027
Email ststgc@myplace.com.au

Dry Density Ratio Report

Client :	CIVDEC CONSTRUCTIONS	Report Number:	00D/177 - 12
Job Number :	00D/177	Report Date:	05/12/2000
Project :	GREAT WESTERN SUPERCENTRE	Order Number:	
Location :	SETTLEMENT ROAD, KEPERRA	Test Method:	Q111C & Q111A

Page 1 of 1

Lab No :	45654	45655	45656
ID No :	1	2	3
Lot No :			
Item No :			
Date Tested :	30/11/2000	30/11/2000	30/11/2000
Material Source :	Pioneer Ferny Grove	Pioneer Ferny Grove	Pioneer Ferny Grove
For Use As :	Base	Base	Base
Sample Location :	Samford Road Chainage 15 Centreline (CBR 80)	Samford Road Chainage 160 Centreline (CBR 80)	Samford Road Chainage 70 Centreline (CBR 80)
Test Depth (mm) :	150 /	150 /	150 /
Maximum Size (mm) :	19.0	19.0	19.0
Oversize (%) :	-	-	-
Density Oversize (t/m ³):	-	-	-
Field Dry Density (t/m ³):	2.246	2.246	2.256
Field Moisture (%) :	3.0	3.1	2.9
MDR No :	45657	45658	45659
Assigned MDR :	No	No	No
Max Dry Density (t/m ³):	2.240	2.235	2.255
Opt Moisture Cont. (%) :	7.1	7.6	6.7
Adjusted MDD (t/m ³):	2.240	2.235	2.255
MDR Date :	01/12/2000	01/12/2000	01/12/2000
Compactive Effort:	Standard	Standard	Standard
Dry Density Ratio (%) :	100.3	100.5	100.0
Min Dry Dens Ratio (%) :	100	100	100

Remarks : Minimum specification refers MRD.

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Unit 1, 235 Monier Road
Darra Qld 4076
PO Box 3063
Darra Qld 4076
Telephone (07) 3279 0900
Fax (07) 3279 0955
Email soilsurv@gil.com.au

Gold Coast
Unit 5 36 Lawrence Drive
Nerang Qld 4211
PO Box 2011
Nerang Qld 4211
Telephone (07) 5596 1599
Fax (07) 5527 2027
Email sts@gcmyplace.com.au

Dry Density Ratio Report

Client : CIVDEC CONSTRUCTIONS	Report Number: 00D/177-7
Job Number : 00D/177	Report Date: 30/11/2000
Project : GREAT WESTERN SUPERCENTRE	Order Number:
Location : SETTLEMENT ROAD, KEPERRA	Test Method: AS1289.5.4.1

Page 1 of 1

Lab No :	45501	45502	45503
ID No :	16	17	18
No :			
Item No :			
Date/Time Tested :	27/11/2000 / 9.30	27/11/2000 / 9.45	27/11/2000 / 10.00
Material Source :	Keperra Quarry	Keperra Quarry	Keperra Quarry
For Use As :	Subbase	Subbase	Subbase
Sample Location :	Samford Road Chainage 25 Centreline (CBR 45)	Samford Road Chainage 75 Centreline (CBR 45)	Samford Road Chainage 150 Centreline (CBR 45)
Test/Layer Depth (mm)	150 /	150 /	150 /
Max Size (mm) :	19.0	19.0	19.0
Oversize Wet (%) :	-	-	-
Oversize Dry (%) :	-	-	-
Field Moisture (%) :	3.0	3.5	5.0
MDR No :	45504	45505	45506
signed MDR :	No	No	No
MDR Sampled :	After Compaction	After Compaction	After Compaction
MDD (t/m ³) :	2.10	2.09	2.09
OMC (%) :	9.0	8.5	9.5
Variation from OMC	6.0% dry of omc	5.0% dry of omc	4.5% dry of omc
Field Density Method :	AS1289.5.8.1	AS1289.5.8.1	AS1289.5.8.1
MC Method :	AS 1289.2.1.1	AS 1289.2.1.1	AS 1289.2.1.1
Compactive Effort :	Standard	Standard	Standard
Moisture Ratio / Spec (%) :	35.5	39.0	50.5
Dry Density Ratio (%) :	101.5	101.0	106.5
Min Dry Dens Ratio (%)	100	100	100

Remarks : Minimum specification refers MRD.



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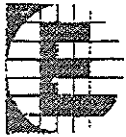
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Soils and Materials Testing

3219 7511

**EARTHTECH
CONSULTANTS
(QLD) Pty Ltd**
NATA 1446
ACN 010 925 561

1/51 Secam Street, Mansfield Qld
P.O. Box 2034 Mansfield DC Qld 4122
Phone: (07) 3343 3166 Fax: (07) 3849 4705
Email: laboratories@earthtech.com.au
Website: www.earthtech.com.au

Inu 106228

Degree of Saturation Report

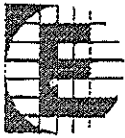
Client: Lynn Civil Pty Ltd Job Number: MB1639 Project: Covecc p, Carpark Location: Corner Settlement & Samford Roads, The Gap	Report Number: MB1639 - 15 Report Date: 07/12/2000 Order Number: Test Method: Q111D
--	---

Page 1 of 1

Lab No :	F2203/00	F2204/00	F2205/00	F2206/00
Lot No :	27	28	29	30
Item No :	-	-	-	-
Date Tested :	04/12/2000	04/12/2000	04/12/2000	04/12/2000
Material Source :	Keperra Quarry	Keperra Quarry	Keperra Quarry	Keperra Quarry
For Use As :	Base	Sub Base	Base	Sub Base
Sample Location :	Road: Samford Road CH: 55 OS: RL:	Road: Samford Road CH: 55 OS: RL:	Road: Samford Road CH: 101 OS: RL:	Samford Road 101
Insitu Dry Density (t/m ³):	2.184	2.199	2.196	2.198
Insitu Moisture Content (%):	2.6	2.5	2.5	2.8
arent Particle Density (t/m ³):	2.637	2.637	2.637	2.637
Degree of Saturation (%):	33	33	33	37
Remarks :				

Released Under EPTIA

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Geotechnical & Environmental
Soils and Materials Testing

3219 7511

**EARTHTECH
CONSULTANTS
(QLD) Pty Ltd**
NATA 1446
ACN 010 826 561

1/51 Secam Street, Mansfield Qld
P.O. Box 2034 Mansfield DC Qld 4122
Phone: (07) 3343 3166 Fax: (07) 3849 4705
Email: laboratories@earthtech.com.au
Website: www.earthtech.com.au

Inu 106228

Apparent Particle Density Report

Client : Lynn Civil Pty Ltd	Report Number: MB1639 - 14
Job Number : MB1639	Report Date: 07/12/2000
Project : Covecamp, Carpark	Order Number:
Location : Corner Settlement & Samford Roads, The Gap	Test Method: Q109

Page 1 of 1

Lab No :	F2207/00			
ID No :	-			
Job No :	-			
Item No :	-			
Date Tested :	04/12/2000			
Material Source :	Keppera Quarry			
For Use As :	Sub Base/ Base			
Sample Location :	Samford Road Onsite Stockpile			
Apparent Particle Density(t/m ³)	2.637			
Remarks :				

Released Under RTI

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SOIL SURVEYS

Brisbane
Unit 1, 235 Monier Road
Darra Qld 4076
PO Box 3063
Darra Qld 4076
Telephone (07) 3279 0900
Fax (07) 3279 0955
Email soilsurv@gil.com.au

Gold Coast
Unit 5, 36 Lawrence Drive
Nerang Qld 4211
PO Box 2011
Nerang Qld 4211
Telephone (07) 5596 1599
Fax (07) 5527 2027
Email sstsgc@myplace.com.au

Brisbane
Accreditation Number: 1169

Quality of Materials Report

Client: CIVDEC CONSTRUCTIONS	Report Number: 00D/177 - 9
Job Number: 00D/177	Report Date: 05/12/2000
Project: GREAT WESTERN SUPERCENTRE	Order Number:
Location: SETTLEMENT ROAD, KEPERRA	
Lab No: 45507 Sample ID: 1	Sample Location
Date Sampled: 27/11/2000 Item No: -	Chainage 140
Date Tested: 28/11/2000	
Sampled By: PW	
Sample Method: AS 1141.3.1	
Material Source: Pioneer Ferny Grove	
For Use As: Base	Lot Number:
Remarks:	Spec Number:

APPROVED
06 DEC 2000

A.S. Sieve Sizes	Specification Minimum	Percent Passing	Specification Maximum
Test Method: Q103A			
75.00 mm		-	
53.00 mm		-	
37.50 mm		-	
26.50 mm		-	
19.00 mm		100	
9.50 mm		78	
4.75 mm		54	
2.36 mm		41	
0.425 mm		18	
0.075 mm		9.3	

Atterberg Tests	Test Method	Specification Minimum	Result	Specification Maximum
Liquid Limit (%)	Q104A		22.0	
Plastic Limit (%)	Q105		16.6	
Plasticity Index	Q105		5.4	
Linear Shrinkage (%)	Q106		2.4	
P.I. x % Passing 0.425 mm			97.2	
L.S. x % Passing 0.425 mm			43.2	
Ratio of % Passing (0.075 / 0.425)			0.52	

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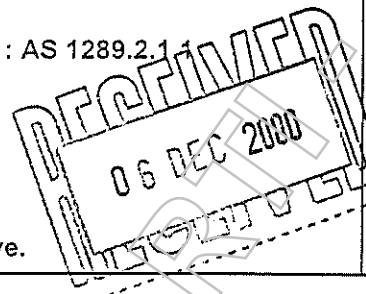
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Unit 1, 235 Monier Road
Darra Qld 4076
PO Box 3063
Darra Qld 4076
Telephone (07) 3279 0900
Fax (07) 3279 0955
Email soilsurv@gil.com.au

Gold Coast
Unit 5, 36 Lawrence Drive
Nerang Qld 4211
PO Box 2011
Nerang Qld 4211
Telephone (07) 5596 1599
Fax (07) 5527 2027
Email sstsgc@myplace.com.au

Brisbane
Accreditation Number: 1169

California Bearing Ratio Report

Client : CIVDEC CONSTRUCTIONS	Report Number : 00D/177 - 8
Job Number : 00D/177	Report Date : 05/12/2000
Project : GREAT WESTERN SUPERCENTRE	Order Number :
Location : SETTLEMENT ROAD,KEPERRA	Test Method : AS1289.6.1.1
Lab No: 45507 Sample ID: 1	Sample Location
Date Sampled: 27/11/2000 Item No : -	Chainage 140
Date Tested: 28/11/2000 MC Method : AS 1289.2.1.1	
Sampled By: PW	
Sample Method: AS 1141.3.1	
Material Source: Pioneer Ferny Grove	
For Use As: Base	Lot Number: -
Remarks: 0% retained on the 19.0mm sieve.	Item Number: -



Maximum Dry Density - MDD (t/m³) :	2.31
Optimum Moisture Content - OMC (%) :	5.0
Compactive Effort :	Modified
Nominated % Maximum Dry Density Compaction :	95.0
Nominated % Optimum Moisture Content Compaction :	100.0
Achieved Dry Density before Soak (t/m³) :	2.19
Achieved Percentage of Maximum Dry Density (%) :	95
Achieved Moisture Content (%) :	5.0
Achieved Percentage of Optimum Moisture Content (%) :	100
Test Condition (Soaked/Unsoaked) / Soaking Period (Days) :	Soaked / 4 Days
Swell (%) / Surcharge (kg):	0.0 / 4.5 kg
Dry Density after Soak (t/m³) :	2.19
Moisture Content after Soak (%) :	7.5
Density Ratio after Soak (%) :	95
Field Moisture Content (%) :	6.2
Moisture Content (Top) after Penetration (%) :	5.8
Moisture Content (Remaining) after Penetration (%) :	6.2
CBR 2.5mm (%) :	110
CBR 5.0mm (%) :	110
Minimum Specified CBR Value (%) :	
CBR Value (%) :	110
Soil Description :	



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Form Number:

REP CBR-1



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R01/01/98

LABORATORY TEST REPORT

Pioneer 
Road Services
Pty Ltd
ACN 000 538 689 ABN 54 000 538 689

CLIENT: DEPARTMENT OF MAIN ROADS

LABORATORY No. 1771

LOCATION: SAMFORD ROAD AND SETTLEMENT ROAD

ADDRESS: BALD HILLS ROAD

KEPERRA

BALD HILLS

JOB No.: N/A

MIX TYPE: DG14

LOT No.: N/A

REPORT No.: A2873

DATE LAID: 03 DECEMBER 2000

TEST METHODS: Q301, Q308A, Q307A.

DATE SAMPLED: 03 DECEMBER 2000

DATE TESTED: 03 DECEMBER 2000

LAB COMPACTION METHOD: N/A

MARSHALL PROPERTIES	TOLERANCE LIMITS	DOCKET / SAMPLE No.	
		343999 BH00-210	354501 BH00-211
BITUMEN CONTENT (%)	4.40 - 5.00	4.75	5.00
AIR VOIDS (%)			
VOIDS FILLED BITUMEN (%)			
VOIDS MIN AGGREGATE (%)			
BULK DENSITY (t/m ³)			
MAXIMUM DENSITY (t/m ³)	2.481 - 2.517	2.504	2.482
STABILITY (kN)			
FLOW (mm)			
STIFFNESS (kN/mm)			

A.S.SIEVE SIZE (mm)

A.S.SIEVE SIZE (mm)	343999	354501
% PASSING 37.5		
% PASSING 26.5		
% PASSING 19.0	100	100
% PASSING 13.2	91 - 100	96
% PASSING 9.5	73 - 87	78
% PASSING 6.7	-	-
% PASSING 4.75	44 - 56	47
% PASSING 2.36	27 - 37	31
% PASSING 1.18	20 - 28	23
% PASSING 0.600	14 - 22	17
% PASSING 0.300	9.0 - 15	10
% PASSING 0.150	4.5 - 8.5	5.1
% PASSING 0.075	4.0 - 6.0	4.0

COMMENTS:

CHECKED BY: Not Relevant

SIGNATORY: Not Relevant

DATE ISSUED: 06 DECEMBER 2000



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FIELD TEST REPORT

Pioneer 
Road Services
Pty Ltd
ACN 300 538 689 ABN 54 000 538 689

CLIENT: DEPARTMENT OF MAIN ROADS

LOCATION: SAMFORD ROAD AND

SETTLEMENT ROAD, KEPERRA

JOB No.: N/A

LOT No.: N/A

DATE LAID: 03 DECEMBER 2000

DATE SAMPLED: 03 DECEMBER 2000

DATE TESTED: 04 DECEMBER 2000

LABORATORY No.: 1771

ADDRESS: 45 MAGNESIUM DRIVE

CRESTMead

REPORT No.: C1972

LAB SAMPLE No.: CR00-1135

LAB DENSITY: (Q307A) 2.493 t/m³

LAB DENSITY REPORT No.: A2873

TEST METHODS: Q302A, Q303, Q306A

CONTROL LINE: SEE LOCATION MAP

SAMPLE No.	1	2	3	4	5	6	7
CHAINAGE (m)							
OFFSET (m)							
RUN No.							
FIELD SAMPLE DEPTH (mm)	57	60	60	55	58	60	60
BULK DENSITY (t/m ³)	2.306	2.316	2.311	2.296	2.304	2.318	2.301
RELATIVE COMPACTION (%)	92.5	92.9	92.7	92.1	92.4	93.0	92.3

SAMPLE No.							
CHAINAGE (m)							
OFFSET (m)							
RUN No.							
FIELD SAMPLE DEPTH (mm)							
BULK DENSITY (t/m ³)							
RELATIVE COMPACTION (%)							

CHARACTERISTIC VALUE:

Mean= 92.6

k= 0.775

Std. Dev.= 0.326

Ch. Val.= 92.4

COMMENTS:

CHECKED BY:

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DATE ISSUED: 06 DECEMBER 2000

Not Relevant

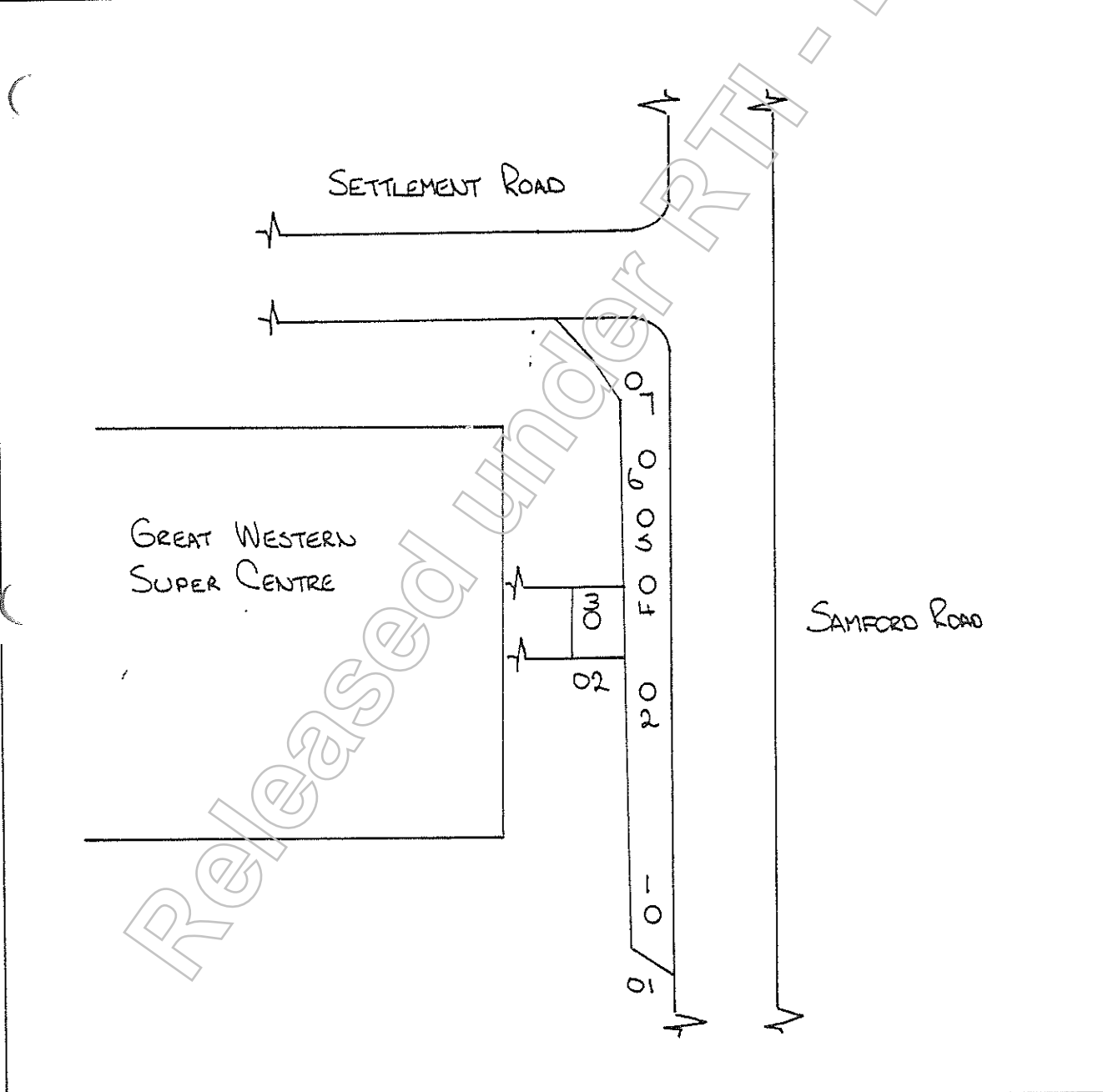
LOCALITY DIAGRAM

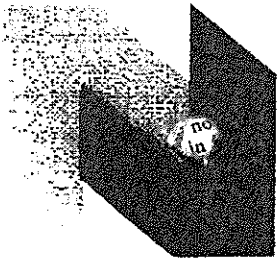


LOT INFORMATION

CLIENT: DEPARTMENT OF MAIN ROADS LOT NUMBER: —
JOB NUMBER: — DATE LAID: 3.12.00
JOB LOCATION: OUR SAMFORD RD + SETTLEMENT RD, KEPERRA

LOCATION MAP





NIELSEN'S CONCRETE PTY LTD

Queensland's own green and gold – proudly independent

Laboratory Address: 24 Argon Street, Carole Park Qld 4300
 Telephone: (07) 3271 4778
 Facsimile: (07) 3271 2620
 Mobile: 0418 153 381



Concrete Testing Report

Client : CIVDEC	Report Number : NR829
Job Number : 214	Report Date : 26/12/2000
Project : ROADWAY	Order Number :
Location : SETTLEMENT RD,KEPERRA	Test Method : AS1012.3.1,1012.8,1012.9 & 1012.12

Lab No :	NC1400A	NC1400B	NC1400C			
Date Sampled :	28/11/2000	28/11/2000	28/11/2000			
Tested :	05/12/2000	26/12/2000	26/12/2000			
Time Sampled:	8.50AM	8.50AM	8.50AM			
Sampling Method :	AS 1012.1 (7.2.1)	AS 1012.1 (7.2.1)	AS 1012.1 (7.2.1)			
Extra Sampling Remarks:						
Concrete Supplier :	BRENDALE	BRENDALE	BRENDALE			
Compaction Method :	Rodding	Rodding	Rodding			
Slump Specification(mm) :						
Compressive Strength Spec.(MPa):	32MPA10MM	32MPA10MM	32MPA10MM			
Initial Curing(hrs) :	24	24	24			
Standard Moist Curing Zone :	Standard Tropical	Standard Tropical	Standard Tropical			
Standard Moist Curing(Days) :	6	27	27			
Mix Type:	32MPA	32MPA	32MPA			
Mix Temperature :	24	24	24			
Batch No :	13485	13485	13485			
Truck No :	500	500	500			
No :						
Location :	KERB	KERB	KERB			
Average Diameter(mm) :	100.4	100.4	100.4			
Height(mm) :	200	200	200			
Age of Specimen(days):	7	28	28			
Capping Method :	Rubber Caps	Rubber Caps	Rubber Caps			
Condition of Specimen :	MOIST	MOIST	MOIST			
Slump (mm):	0	0	0			
Mass per Unit Volume(kg/m³):	2340	2310	2320			
Compressive Strength (MPa):	21.5	33.5	34.5			

Remarks:



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Form Number:

REP CONCTEST-1

Records
Tele 830/367
e



gf.2035

11 November 2002

Department of Main Roads
South East Queensland Region
Metropolitan District
Floor 1
183 Wharf Street
Spring Hill 4000
Attention: Brijesh Kumar

EA 7187
Released under RIA-DTMR

Dear Sir, Great Western Super Centre, Keperra
Samford Road – “As constructed” drawings – street lighting
Your ref: 830/367

We refer to your letter of 21 August to Baseline Consulting, and your subsequent fax of 24 October, and are pleased to enclose the following “as constructed” transparencies of the installation-

- P023289 sheets 1, 5, & 6 of 8.

We now look forward to your granting “off maintenance” status for this work.

Yours faithfully,

Not Relevant

Project Manager

Encl:

Cc: Baseline Consulting

PS. 'As constructed' plans with

Not Relevant

Not Relevant

16/11/02

Indigo
ABN 18 098 798 095
48 Leichhardt St
Spring Hill Qld 4000 Aust.
Telephone: 617 3830 1000
Facsimile: 617 3830 1099
mail@indigoprojects.com.au

E97415

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FILE COPY



**Queensland
Government**

19 November 2002

Department of **Main Roads**

Baseline Consulting Pty Ltd
PO Box 3635
South Brisbane Qld 4101

Dear Sir

**Brisbane City: Samford Road
Lot 1 on RP189177, Parish of Enoggera
County of Stanley
Cnr of Samford/Settlement Roads, Keperra
Keperra Great Western Supacentre**

Thank you for the request for "off maintenance" confirming the completion of the above developer works.

~~see attached~~
I confirm that the works have been constructed in accordance with the approved drawings.

The completed works are now accepted off maintenance.

Any maintenance bond held by the department will be returned promptly.

Yours faithfully

Not Relevant

Don Steele
District Director (Metropolitan)

Not Relevant

19/11/02

South East Queensland Region
Metropolitan District
183 Wharf Street Spring Hill Queensland 4000
PO Box 70 Spring Hill Queensland 4004
ABN 57 836 727 711

Our ref 830/367
Your ref
Enquiries Mr Brijesh Kumar
Telephone +61 7 3834 8287
Facsimile +61 7 3834 8363

M:\Tpbzkumar\Letters\Nov_2002\off mtce Keperra Gt Western Supacentre.doc

B/c Chief Executive Officer
Brisbane City Council
GPO Box 1434
Brisbane Qld 4001

For your information.

Indigo Projects
48 Leichhardt Street
Spring Hill Qld 4000

For your information.

Engineer (Development Control) – Brijesh Kumar
Floor 1 183 Wharf Street Spring Hill

Busines Coordinator (Finance) – Kelly Harrison
Ground Floor 183 Wharf Street Spring Hill

Supervisor Grade 2 – Neville McDonald
Ground Floor Nathan Depot

For your information.

Not Relevant

Don Steele
District Director (Metropolitan)

19 November 2002

*Enc (1)

File No: 830/367

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21 January 2003

Department of Main Roads
South East Queensland Region
Metropolitan District
PO Box 70 Spring Hill 4004
Attention: Don Steele

E102067
13/01/03

Dear Sir, Great Western Super Centre, Keperra
Lot 1 on RP189177, Parish of Enoggera
Samford Road – Maintenance bond
Your ref: 830/367

We refer to your letter of 19 November 2002 advising that outstanding bond monies would be returned, and attach copies of our bond receipts.

We would appreciate your attention to this matter. Please contact the undersigned if you have any queries.

Yours faithfully,

Not Relevant

Project Manager

Encl:

NR

NR

NR

METROPOLITAN DISTRICT

FILE NO
DMS REF NO. *830/367*

21 JAN 2003

<i>PDD</i>					
<i>WMS</i>				X	
<i>BR</i>				X	

For action pls

Queen to

NR

NR

to action

Not Relevant

NR

3/02/03



19 November 2002

Department of Main Roads

Baseline Consulting Pty Ltd
PO Box 3635
South Brisbane Qld 4101

Dear Sir

**Brisbane City: Samford Road
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Yours faithfully

Not Relevant

Don
**Don Steele
District Director (Metropolitan)**



B/c Indigo Projects
48 Leichhardt Street
Spring Hill Qld 4000

Department of Main Roads

For your information.

Not Relevant

A handwritten signature in black ink, appearing to read 'Don Steele'.

Don Steele
District Director (Metropolitan)

19 November 2002

*Enc (1)

File No: 830/367

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Released under RTI - DTMR



Receipt

RECEIVED
15 MAY 2000

MR Main Roads

Page 1 of 1

INDIGO PROJECTS PL
LEVEL 9, 445 UPPER EDWARD ST
SPRING HILL QLD 4000

Receipt No. 6620072279

Date 11.05.2000

Issued at metronorth

Operator ID CZKING

System GATEWAY

REF. KEPERRA.GF.MRD.0314.0905

Payment Method Receipt Cheque

Amount **\$1,000.00**

Cheques are accepted subject to clearance

Apportionment Account	Description	Amount \$	Invoice Credited
10113	Cash on Hand Met Nth	1,000.00	Dr
5% BOND KEPERRA SUPER CENTRE 10097	Intercompany Clear	1,000.00	Cr

Released under RTI - DMNR



Receipt

RECEIVE
26 APR 2000



Indigo Projects Pty Ltd
Level 9, 445 Upper Edward Street
Spring Hill Qld 4000

Receipt No. 6620069999

Date 26.04.2000

Ref: Keperra.gf.mrd.0224.1804

Issued at metro

Operator ID CZKING

System GATEWAY

Payment Method Receipt Cheque

Amount **\$1,900.00**

Cheques are accepted subject to clearance

Apportionment Account	Description	Amount \$	Invoice Credited
10113	Cash on Hand Met Nth	1,900.00	Dr
5% BOND KEPERRA SUPER CENTRE			
10097	Intercompany Clear	1,900.00	Cr

Released under RTI - DMIR